

OVERALL SITE PLAN

SCALE: 1" = 20'

KEY NOTES

- STANDARD GRAY CONCRETE PAVING WITH BROOM FINISH. SEE SHEET SD1.1.
- 4" "BLACK" CONTRASTING STRIPE FOR PARKING STALLS.
- ACCESSIBLE PARKING SPACE
- ACCESSIBLE PARKING SIGN
- SITE ACCESSIBILITY SIGN.
- ACCESSIBLE PATH OF TRAVEL. NO SLOPES GREATER THAN 5% IN THE DIRECTION OF TRAVEL. NO CROSS SLOPES GREATER THAN 2% AND NO ABRUPT CHANGES IN ELEVATION GREATER THAN 0.25 INCH.
- LINE OF VEHICLE OVERHANG.
- LINE OF ROOF OVERHANG.
- PLANTER CURB PER CIVIL DRAWING.
- CONCRETE SIDEWALK PER SOILS REPORT.
- PROPOSED UNDERGROUND TANKS WITH TRAFFIC RATED LIDS.
- ELECTRIC VEHICLE CHARGING STATION.
- DOOR LANDING WITH 2% MAXIMUM SLOPE IN ANY DIRECTION.
- PROPERTY LINE.
- NEW SITE LIGHT POLE ON CONCRETE BASE.
- NOT USED
- EXISTING RETAINING WALL ON ADJACENT PROPERTY.

- PROPOSED RETAINING WALL. SEE GRADING PLAN FOR HEIGHT. SEE STRUCTURAL SHEETS FOR DESIGN. FOR A 24" MAX. HEIGHT WALL, USE 8" WIDE PCC W/ 1 #4 BAR T & B.
- TRASH ENCLOSURE SIZED FOR DOUBLE 5 CY DUMPSTER.
- LANDSCAPE AREA.
- EXISTING STORM DRAIN MANHOLE.
- EXISTING SEWER MANHOLE
- 36" MIN. DEEP DETECTABLE WARNINGS APPLIED OVER CONCRETE SURFACE.
- VISIBILITY TRIANGLE. AREA TO HAVE NO OBSTRUCTION GREATER THAN 3 FEET IN HEIGHT.
- EXISTING RETAINING WALL.
- EXISTING SD&E ELECTRICAL TRANSFORMER LOCATION WITH PROTECTIVE BOLLARDS.
- PROPOSED 6" DIAMETER BY 4' HIGH CONCRETE FILLED BOLLARDS TO PROTECT BUILDING.
- PROPOSED VALLEY GUTTER. SEE GRADING PLAN.
- PROPOSED GAS / CARWASH POLE SIGN
- EXISTING DRIVEWAY TO REMAIN.
- 24" TALL "BLACK" PAINTED LETTERS ON CONCRETE SURFACE (TYPICAL).
- 24" TALL "BLACK" PAINTED DIRECTIONAL ARROWS ON CONCRETE SURFACE (TYPICAL).
- EXISTING STORM DRAINAGE AND SEWER EASEMENT.
- "BLUE" STRIPPED 48" WIDE CROSSWALK.
- EXISTING 1" WATER SERVICE TO REMAIN FOR LANDSCAPE IRRIGATION METER.

- PROPOSED 2" WATER SERVICE. 2" WATER METER & 2" BACKFLOW.
- EXISTING CITY OWNER ACCESSIBLE CURB RAMP.
- EXISTING CITY SIDEWALK.
- PROPOSED STORM WATER DRAIN INLET PER CIVIL PLANS.
- PROPOSED CITY DRIVEWAY APRON PER CITY OF SAN DIEGO REGIONAL STANDARD DRAWINGS. SEE CIVIL PLANS
- EXISTING CITY CURB AND / OR CURB AND GUTTER.
- PROPOSED ELECTRICAL METER. SEE ELECTRICAL DRAWINGS.
- PROPOSED TRENCH DRAIN PER CIVIL PLANS
- PROPOSED GAS DISPENSER ISLAND WITH PROTECTIVE BOLLARDS.
- OUTLINE OF 22'-0" CLEAR AISLE.
- EXISTING BICYCLE RACK
- 4' LONG CONCRETE WHEEL STOP.
- ASPHALT PAVING SEE SEE SHEET SD1.1
- EXISTING FIRE HYDRANT
- EXISTING STREET LIGHT
- REMOVE EXISTING PORTION OF RETAINING WALL.
- MECHANICAL CONDENSER WITH LANDSCAPE SCREENING.

PROJECT DATA

PROJECT SCOPE OF WORK:
A NEW GAS STATION ON SITE WITH AN OPERATING CAR WASH. THE PROJECT CONSISTS OF A SMALL MARKET (345 SQ. FT.), A LARGE GASOLINE CANOPY, A DOUBLE TRASH ENCLOSURE, ELECTRICAL VEHICLE CHARGING STATIONS & SITE LIGHTING. PROJECT APPLICATION IS MADE IN ACCORDANCE WITH THE PROFESSIONAL CERTIFICATION PROGRAM.

LEGAL DESCRIPTION:
LOT 1 OF MC GRATH CORNER IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4576, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

APN: 472-400-05
REQUIRED:
EXISTING USE: JULY 2017- MAR 2018
YEAR OF CONSTRUCTION FOR EXISTING STRUCTURE: GAS STATION
PROPOSED USE: ZERO FEET SETBACK
SET-BACKS: 38,585 SF (0.885 ACRE)
PARCEL SIZE: 345 SF W/ 5 ISLAND GAS PUMP STATIONS
BUILDING AREA (PROPOSED C-STORE): 2751 SQ. FT.
BUILDING AREA (EXISTING CARWASH): 6382 SQ. FT.
TOTAL LANDSCAPE AREA:
ZONE: CC-5-3
OCCUPANCY: B
TYPE OF CONSTRUCTION: V-B
TRANSIT ZONE: YES
GEOLOGICAL HAZARD CATEGORY: (12)
PARKING TABLE: 142-05E, RETAIL, COMMERCIAL SERVICES AND MIXED-USE DEVELOPMENT
PARKING RATIO: 4.3 / 1,000 SF
BUILDING AREA (C-STORE) = 345 SF
345 / 1000 = 0.345
0.345 x 4.3 = 1.48 PARKING STALLS REQUIRED
PARKING & STALLS PROVIDED = 5

DISCRETIONARY PERMIT AND PROCESS LEVEL
COMMERCIAL
GAS STATION
ZERO FEET SETBACK
38,585 SF (0.885 ACRE)
345 SF W/ 5 ISLAND GAS PUMP STATIONS
2751 SQ. FT.
6382 SQ. FT.

PROJECT DIRECTORY

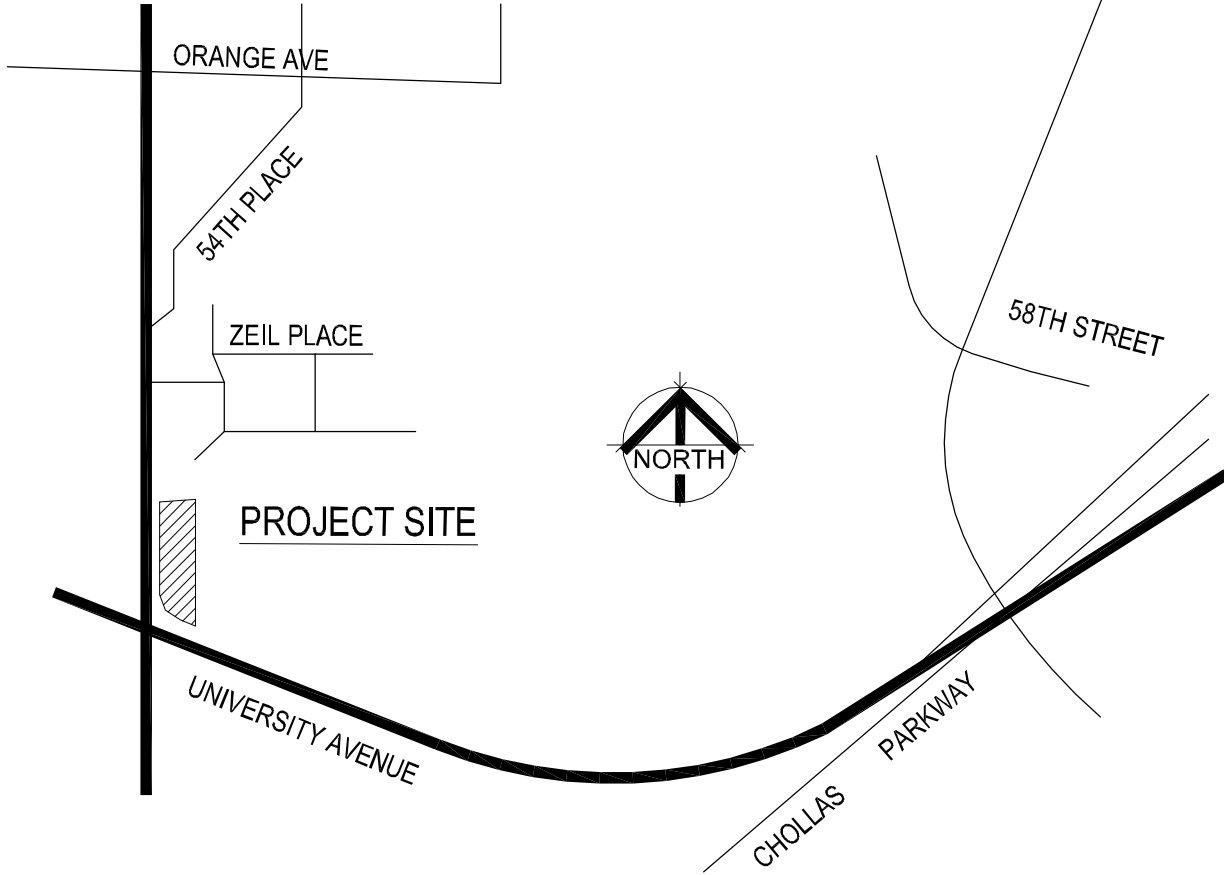
OWNER:
PE3-SAN DIEGO, LLC
C/O MARATHON RETAIL GROUP, INC.
4484 SHELTON DRIVE
SAN DIEGO, CA 92131
PH: (619) 807-1061
CONTACT: JOE FELIX

ARCHITECT:
SCHUSS CLARK BRANDON ARCHITECTS
9845 ERMA ROAD SUITE 303
SAN DIEGO, CA 92131
TEL: (858) 578-2950
CONTACT: JEFF BRANDON

CIVIL ENGINEER:
K & S ENGINEERING, INC.
7801 MISSION CENTER CT. #100
SAN DIEGO, CA 92108
TEL: (619) 296-5565 EXT. 120
CONTACT: HOSSEIN ZOMORRODI

LANDSCAPE ARCHITECT:
CAROL CORNELIUS, L.L.A.
12044 ROYAL ROAD
EL CAJON, CA 92021
TEL: (619) 251-6372
CONTACT: CAROL CORNELIUS

VICINITY MAP



SHEET INDEX

SD1.0	OVERALL SITE PLAN
SD1.1	ENLARGED SITE PLAN
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C-2	EXISTING TOPOGRAPHY
C-3	GRADING PLAN
L-1	LANDSCAPE DEVELOPMENT PLAN
L-2	PLANTING NOTES AND DETAILS
A1.0	FLOOR PLAN AND ELEVATIONS - C-STORE
A1.1	FLOOR PLAN AND ELEVATIONS - GAS STATION
A1.2	FLOOR PLAN AND ELEVATIONS - TRASH ENCLOSURE

Revisions	
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ARCHITECTURE PLANNING
9845 Erma Road, Suite 303
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info@schussclarkbrandon.com



PE3 - SAN DIEGO, LLC
GAS STATION
4001 54TH STREET
SAN DIEGO, CA 92105

Sheet Content
OVERALL
SITE PLAN

Document Status	
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Date: 06-11-20

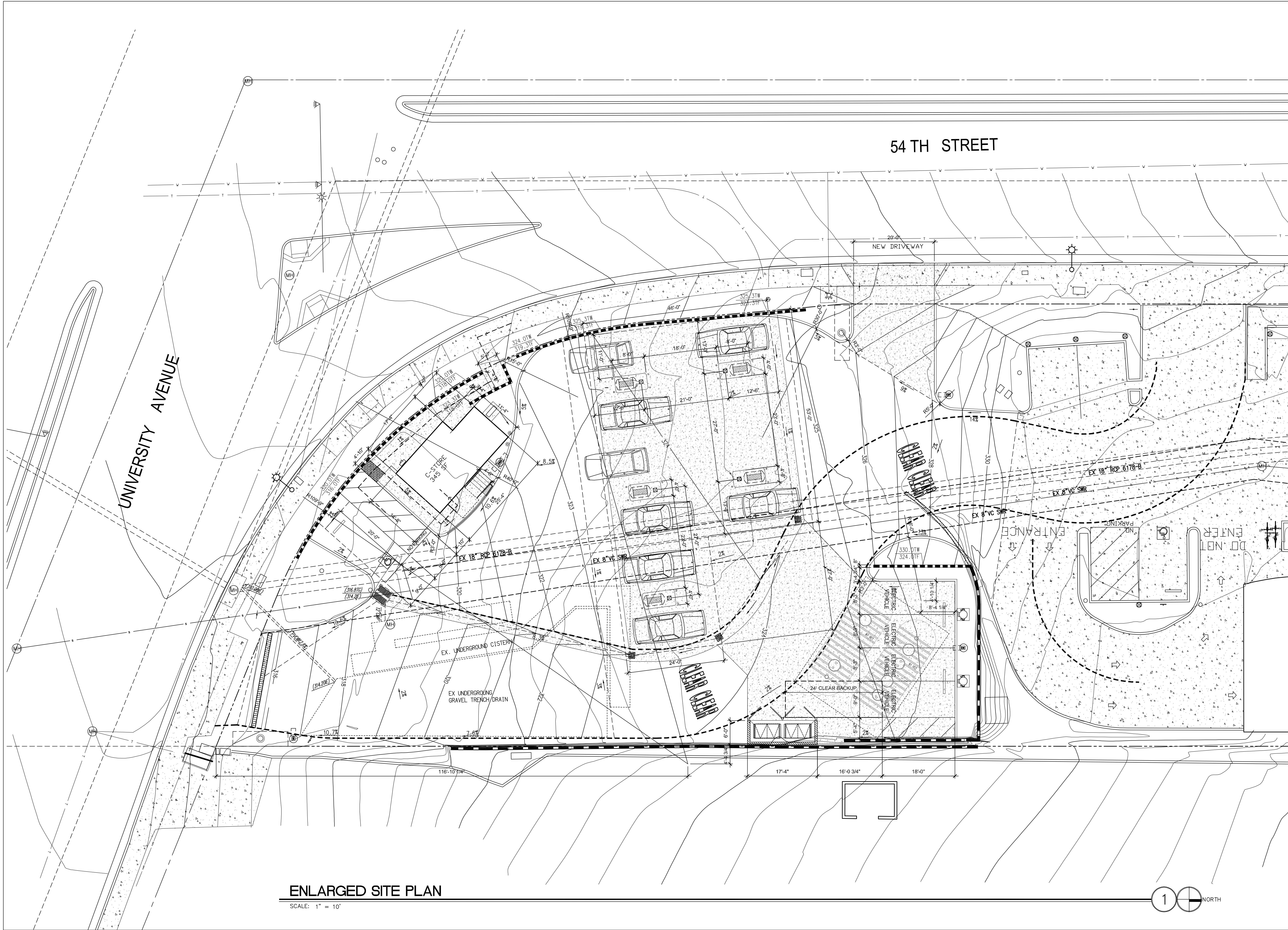
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Checked by: JB

Project: 18-452.28

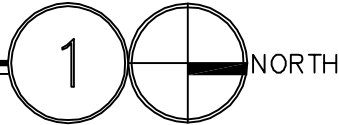
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SD1.0



ENLARGED SITE PLAN

SCALE: 1" = 10'



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GAS STATION

4001 54TH STREET

SAN DIEGO, CA 92105

Sheet Content

ENLARGED SITE PLAN

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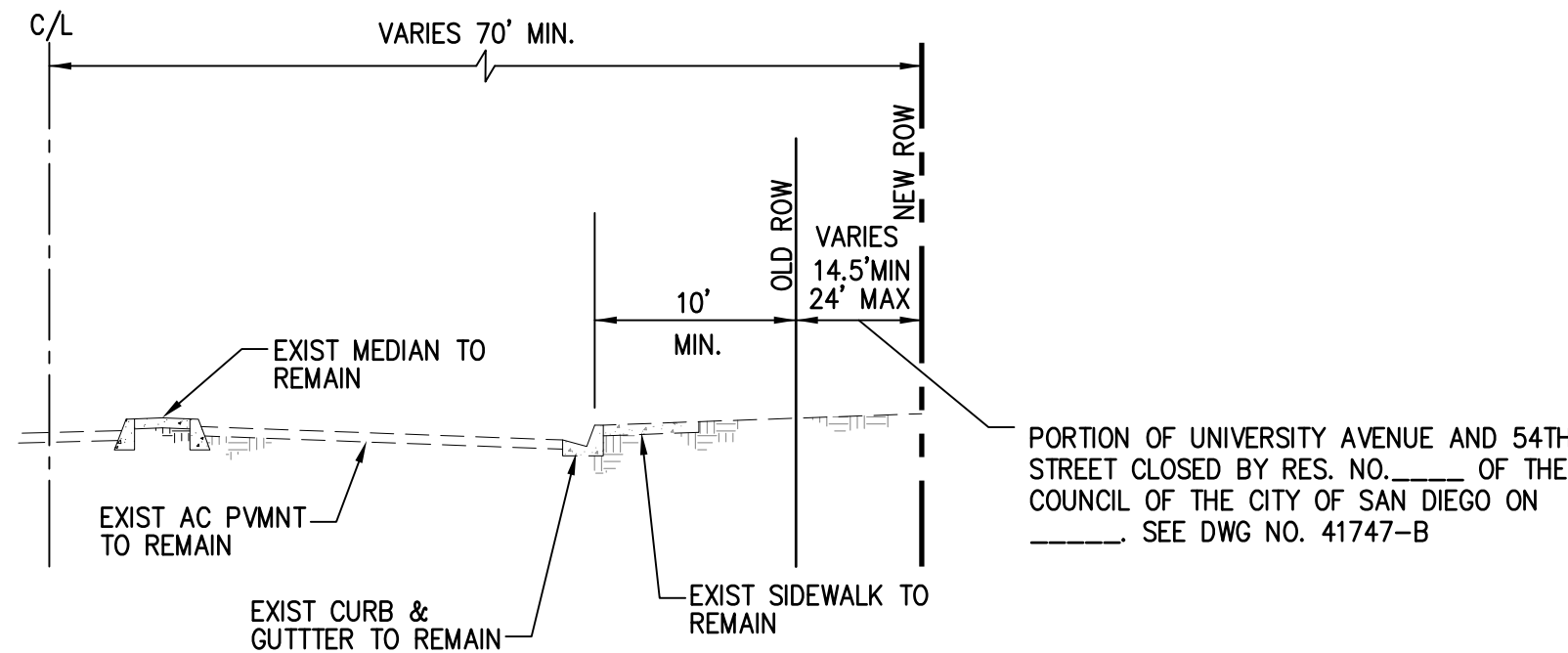
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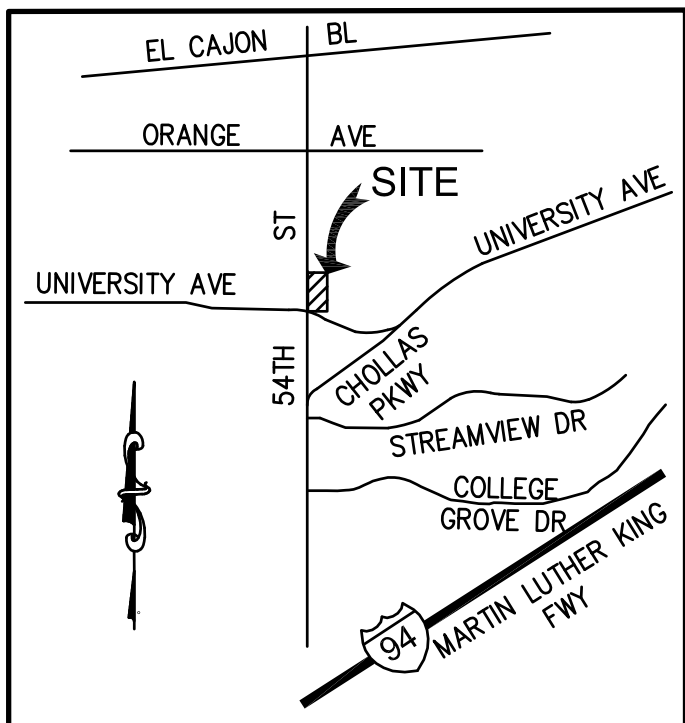
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SD1.1

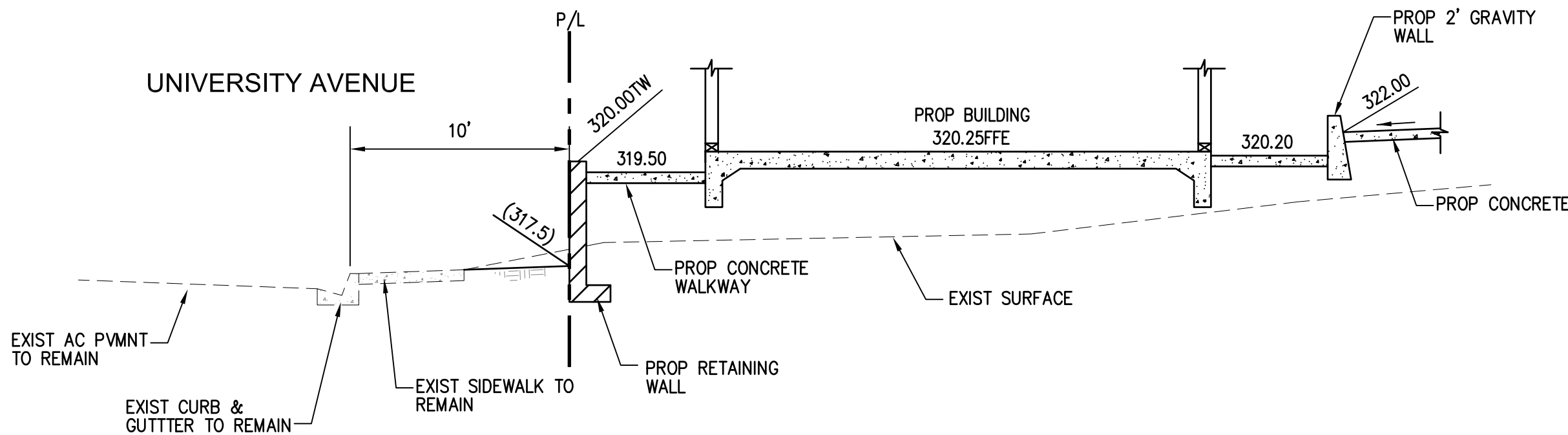
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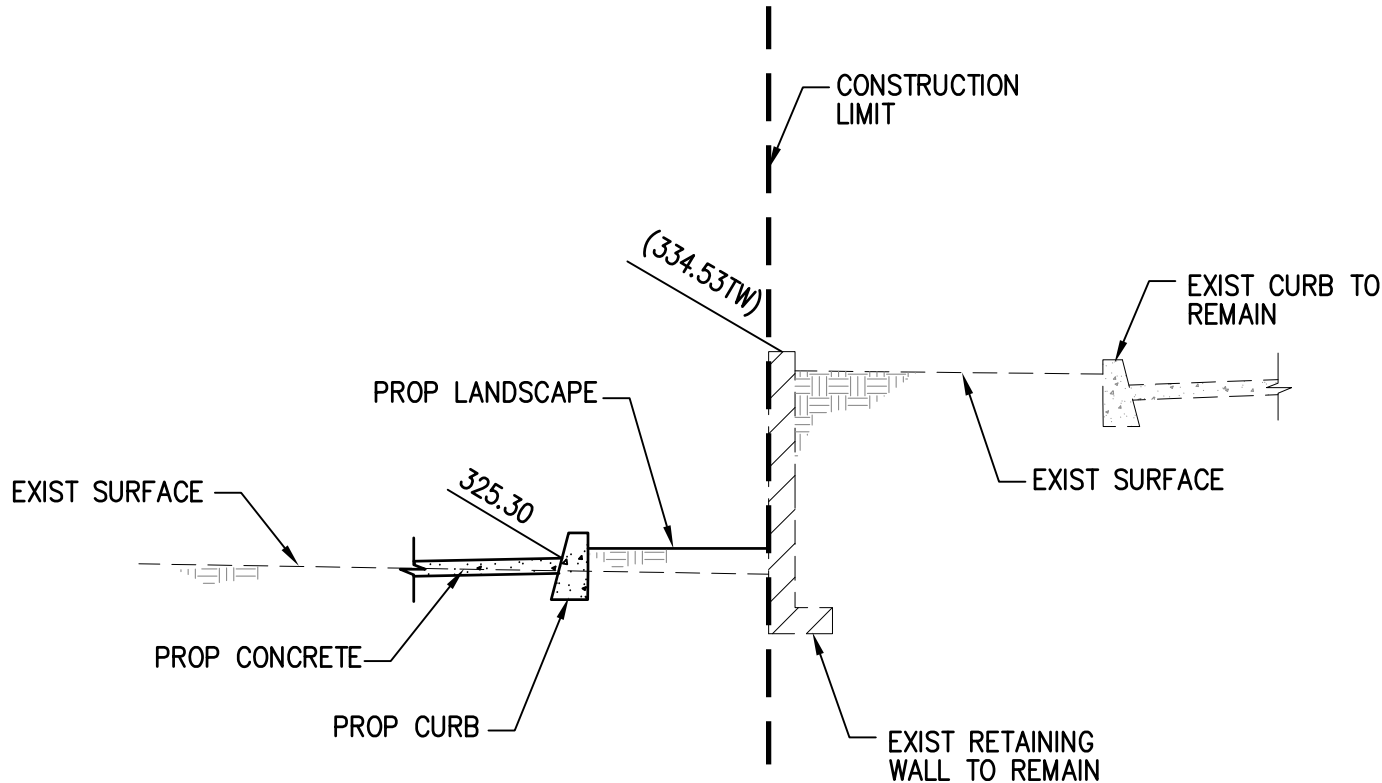
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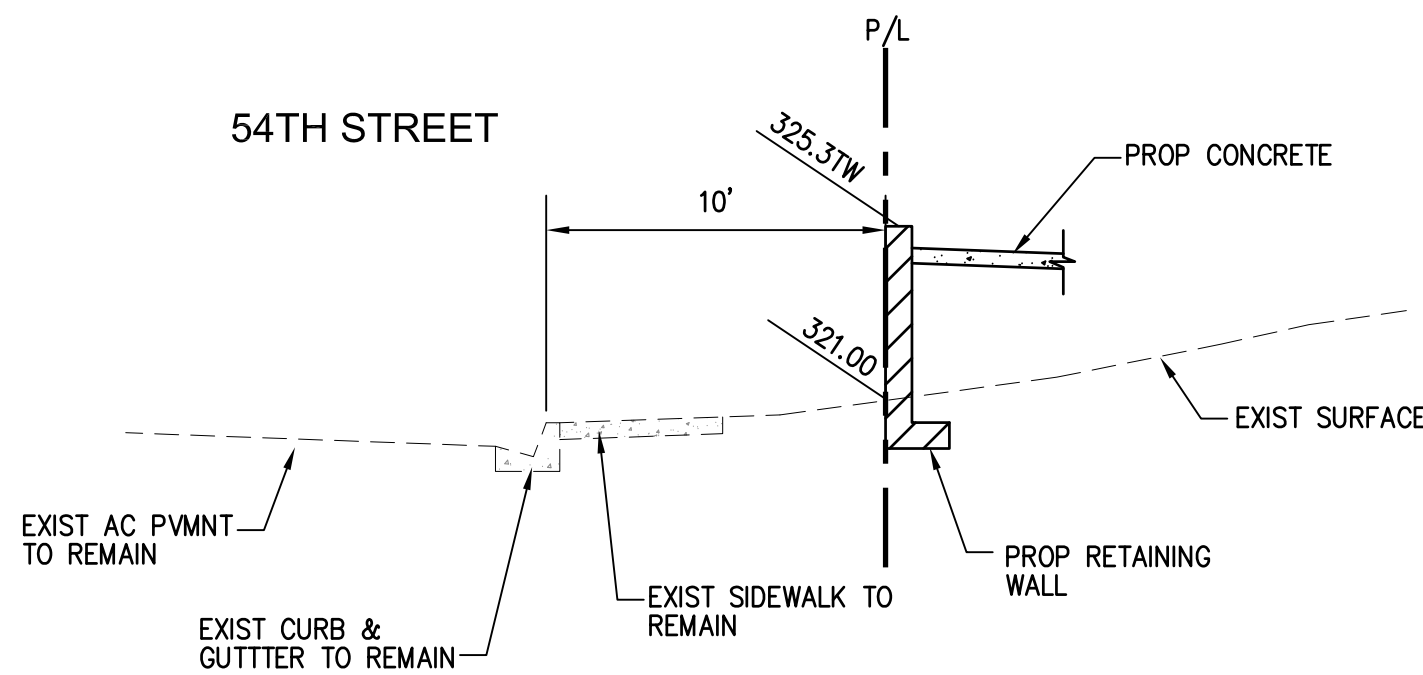
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NO TO SCALE



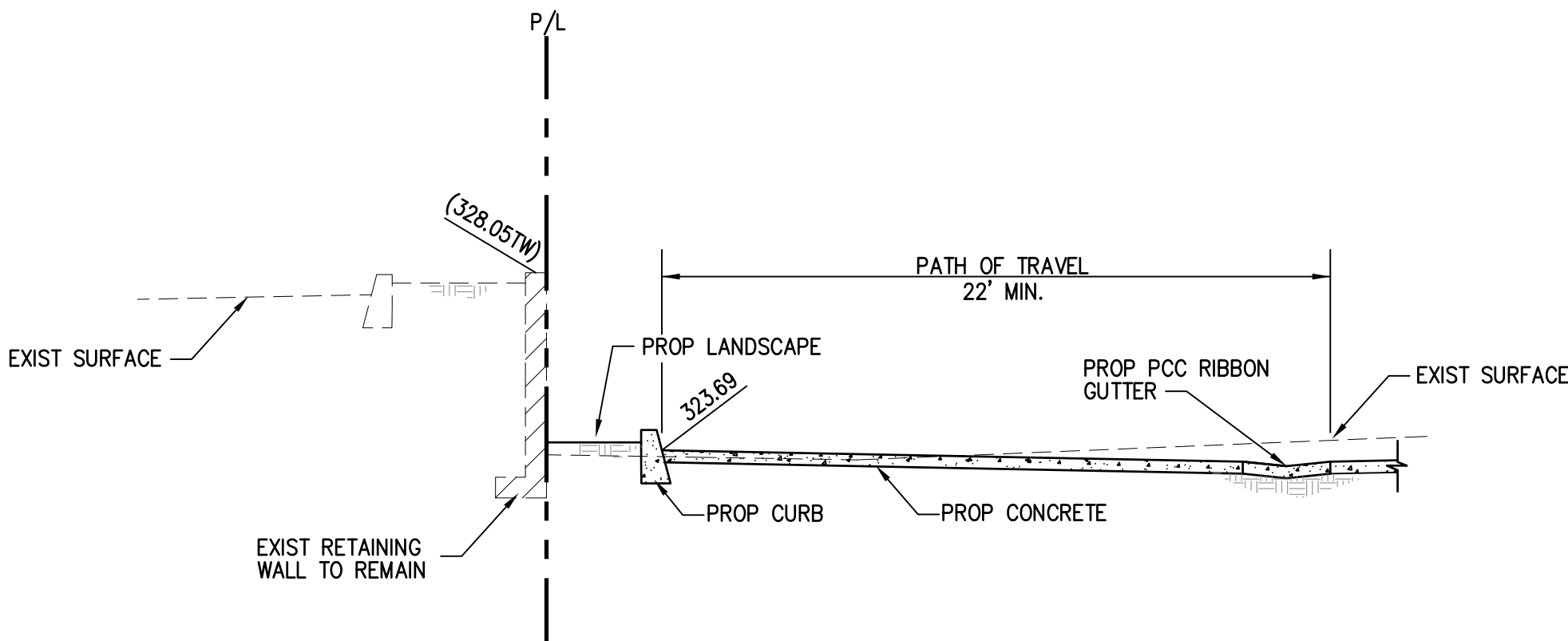
SECTION A
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SECTION C
NOT TO SCALE



SECTION B
NOT TO SCALE



SECTION D
NOT TO SCALE

SPECIAL NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- BEST MANAGEMENT PRACTICES AND STORM WATER TREATMENT WAS APPROVED AND CONSTRUCTED UNDER PROJECT NO. 481004 DRAWING NO. 39335-D.
- UNIFORM PLUMBING CODE OR CITY CITY OF SAN DIEGO FACILITY DESIGN GUIDELINES WILL BE USED FOR PRIVATE SEWER SERVICE LINE'S DESIGN AND CONSTRUCTION.

LEGEND

ITEM

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM DRAIN PIPE
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE SURFACE
- PROPOSED CATCH BASIN

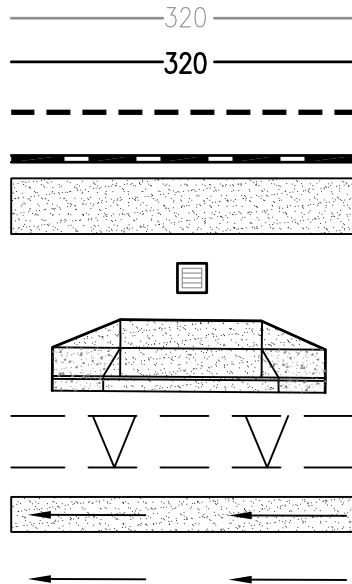
PROPOSED 20' WIDE DRIVEWAY (ONE WAY)

PROPOSED SLOPE 2:1

PROPOSED PCC RIBBON GUTTER

DIRECTION OF FLOW

SYMBOL



SITE ADDRESS

4001 54TH STREET
SAN DIEGO, CA 92105

TOPOGRAPHY

SURVEY BY:
K & S ENGINEERING, INC.
7801 MISSION CENTER COURT, SUITE 100
SAN DIEGO, CA 92108
DATED: 02/7/2019

BENCH MARK

DESCRIPTION: BP
LOCATION: NORTHEAST OF THE INTERSECTION OF UNIVERSITY AVENUE & 54TH STREET
ELEVATION: 315.298'
DATUM: NAVD88

OWNER/DEVELOPER

PE3-SAN DIEGO, LLC
CONTACT: JOE FELIX
4055 54TH STREET
SAN DIEGO, CA 92105
(619) 807-1061

LEGAL DESCRIPTION

LOT 1 OF MC GRATH CORNER OF MAP NO. 4576

APN:

472-400-05

LOT AREA

0.88 AC 38,585 SF

DISTURBED AREA

0.40 AC 17,400 SF

EXISTING	PROPOSED
IMPERVIOUS AREA 24,091 SF	IMPERVIOUS AREA 32,932 SF
PERVIOUS AREA 14,494 SF	PERVIOUS AREA 5,653 SF

GRADING TABULATIONS

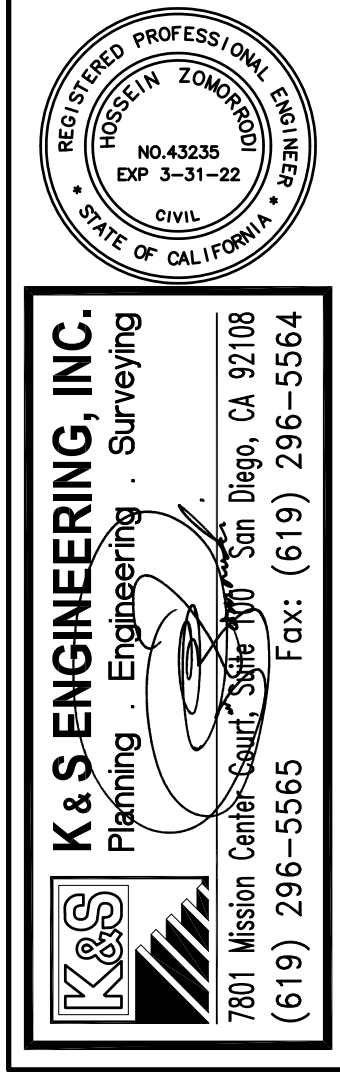
TOTAL AMOUNT OF SITE TO BE GRADED:
AREA 0.40AC, % OF TOTAL SITE 45
AMOUNT OF CUT: _____ CUBIC YARDS
MAXIMUM DEPTH OF CUT: _____ FEET (WITHIN BUILDING ENVELOPE).
AMOUNT OF FILL: 1075 CUBIC YARDS
MAXIMUM DEPTH OF FILL: 4 FEET.
MAXIMUM HEIGHT OF FILL SLOPE: 2 FEET.
2:1 SLOPE RATIO.
MAXIMUM HEIGHT OF CUT SLOPE: _____ FEET.
_____ SLOPE RATIO.
AMOUNT IMPORT SOIL: 1075 CUBIC YARDS
RETAINING WALL:
MASONRY: LENGTH 180 FEET. MAXIMUM HEIGHT 5' FEET.

EARTHWORK QUANTITIES SHOWN ARE FOR ESTIMATING PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE, LOSSES DUE TO CLEARING OPERATIONS, COMPACTION, SETTLEMENT, ETC. CONTRACTOR SHOULD VERIFY QUANTITIES PRIOR TO BIDDING.

SHEET INDEX:

TITLE & DETAILS C-1
TOPOGRAPHIC SURVEY C-2
CONCEPTUAL GRADING PLAN C-3

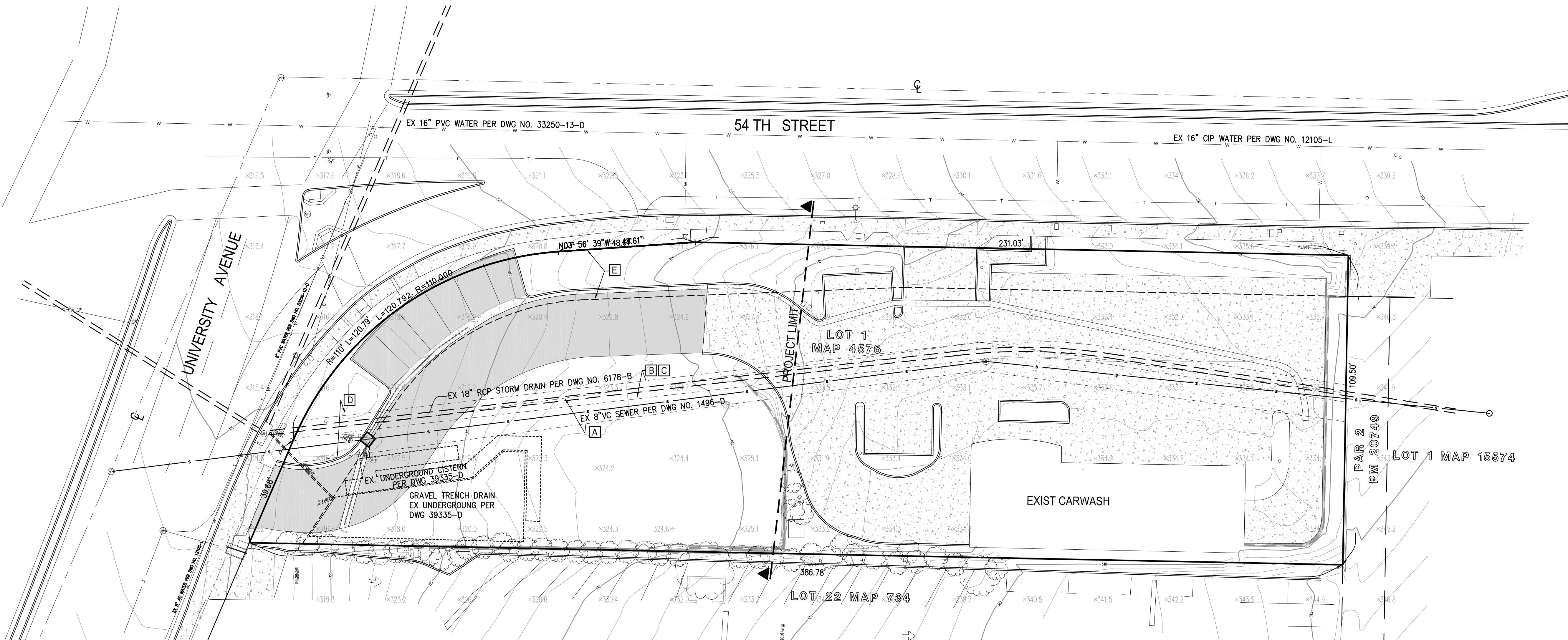
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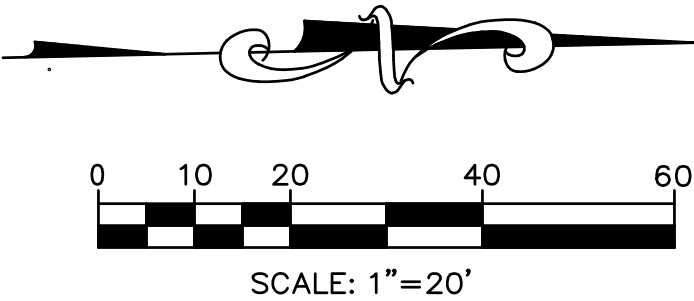
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GAS STATION
4001 54TH STREET
SAN DIEGO, CA 92105

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TITLE & SECTIONS	
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Date:	06-18-20
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Project:	19-006
Sheet Number	

C-1



- EASEMENT NOTES:**
- A** 10 FOOT WIDE EASEMENT(S) FOR PUBLIC SEWER AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE CITY OF SAN DIEGO, REC OCT 05, 1949, IN BOOK 3341, PAGE 93, O.R.
 - B** 6 FOOT WIDE EASEMENT(S) FOR STORM DRAIN OR DRAINS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE CITY OF SAN DIEGO, REC JUNE 24, 1952, IN BOOK 4505, PAGE 19, O.R.
 - C** 6 FOOT WIDE EASEMENT(S) FOR STORM DRAIN OR DRAINS AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT TO THE CITY OF SAN DIEGO, REC OCT 19, 1949, IN BOOK 3356, PAGE 158, OFFICIAL RECORDS.
 - D** 15 FOOT WIDE SEWER AND STORM DRAIN EASEMENT RESERVED HEREON IN FAVOR OF THE CITY OF SAN DIEGO
 - E** PORTION OF UNIVERSITY AVENUE AND 54TH STREET CLOSED BY RES. NO. _____ OF THE COUNCIL OF THE CITY OF SAN DIEGO ON _____ SEE DWG NO. 41747-B



Revisions	
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REGISTERED PROFESSIONAL ENGINEER
NO. 43235
EXP. 3-31-22
CIVIL
STATE OF CALIFORNIA

K & S ENGINEERING, INC.

Planning · Engineering · Surveying

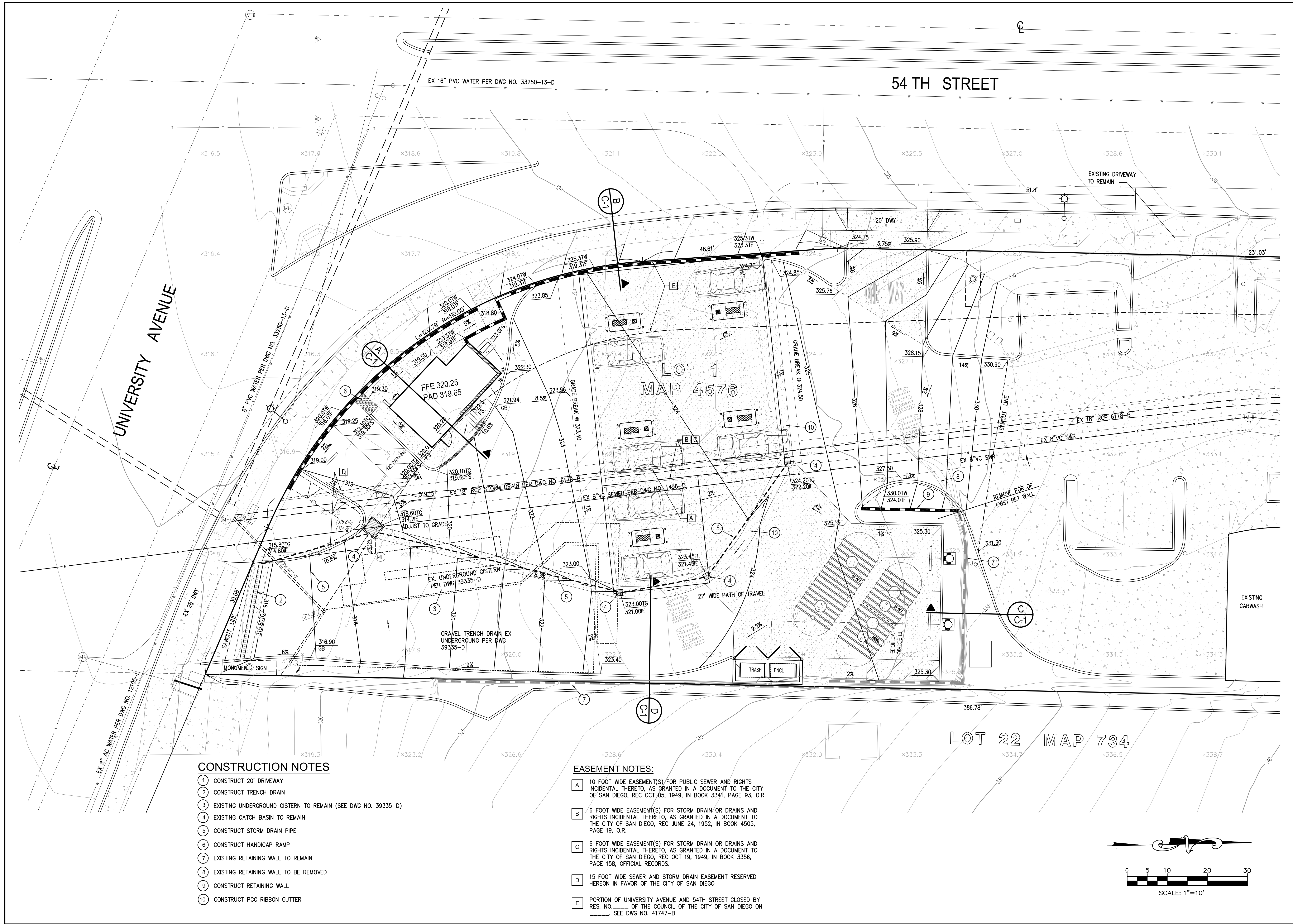
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EXISTING TOPOGRAPHY	
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Date:	06-18-20
Drawn by:	NA
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GRADING PLAN

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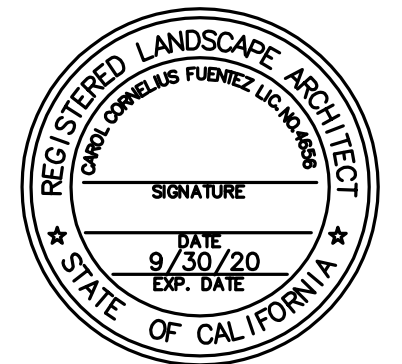
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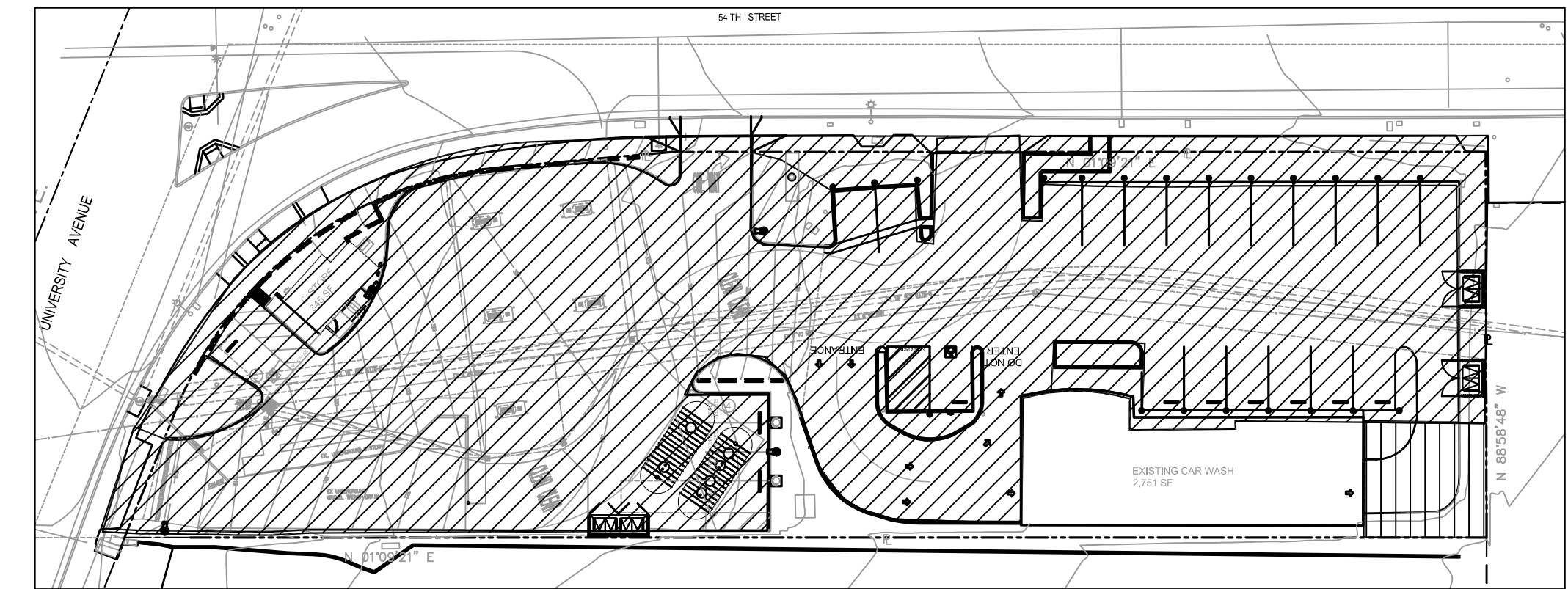
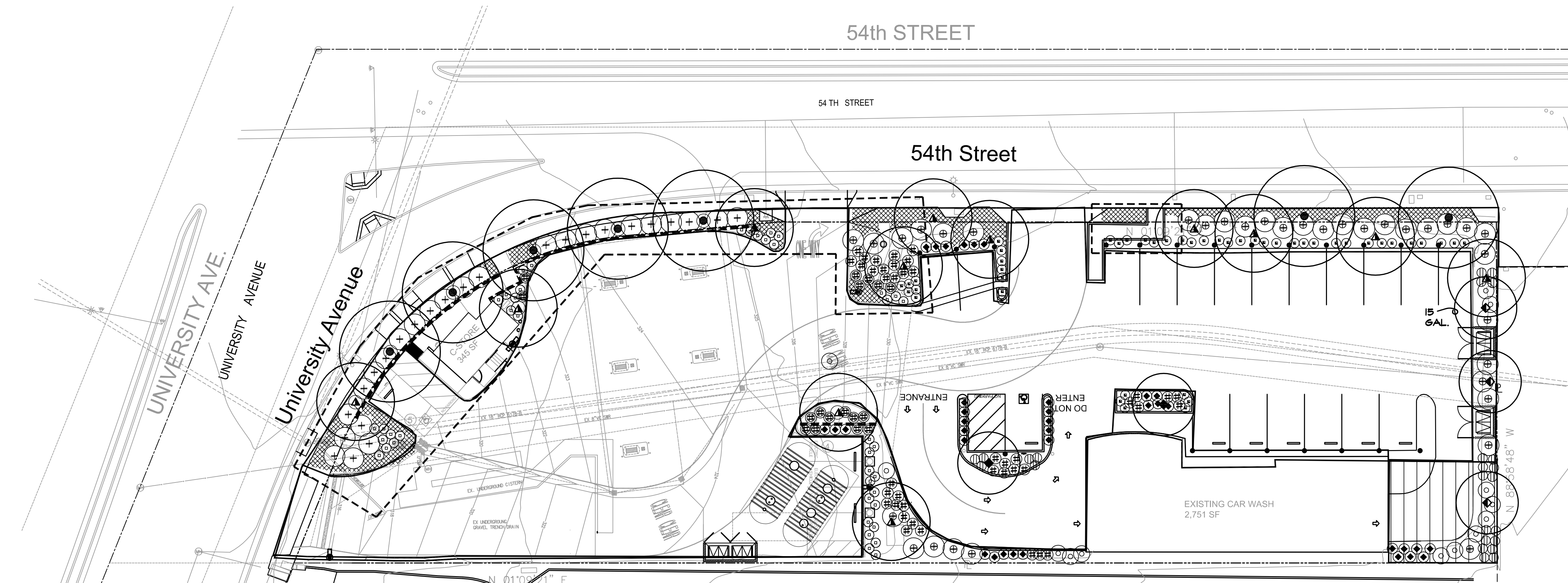
C-3



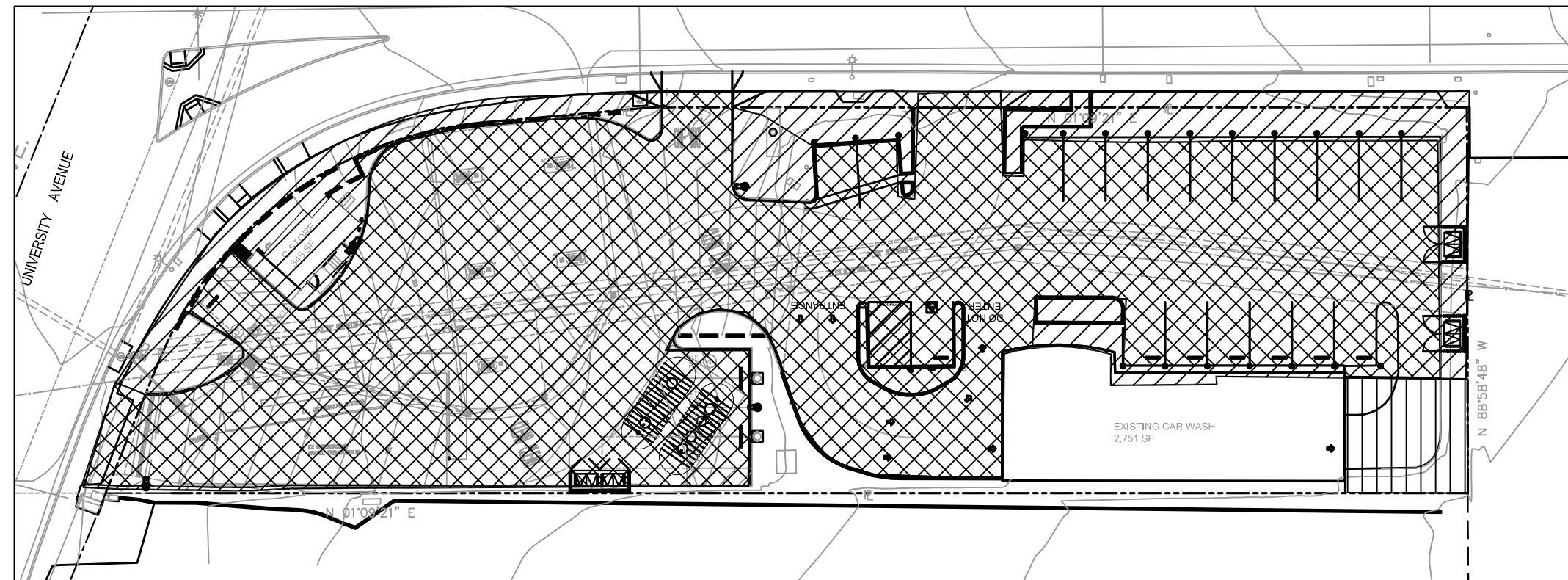
SHEET TITLE
Landscape Development Plan
and Points Diagram

PROJECT NAME
Gas Station Addition
4001 54th Street
San Diego, California

DATE: 6-18-20
DRAWN BY: CCF
JOB NUMBER: 15016
FILE:
REVISIONS:



Planting Area Diagram - Street Yard



Planting Area Diagram - Vehicle Use Areas
(Within Street Yard)

IRRIGATION CALCULATIONS

MAWA
 $(47 \times 62) \times (.45 \times 6382) = 83,660$
ETW
 $(47 \times 62) \times (2 \times 6382) = 43,288$

PLANTING POINTS

STREET YARD 34,448 SQ. FT.
PLANTING AREA REQ. = 34,448 X .15 = 5,241 SQ. FT.
PLANTING AREA PROVIDED = 6,882 SQ. FT.
EXCESS AREA PROVIDED = 1,641 SQ. FT.
PLANTING POINTS REQ. 34,448 X .09 = 1,048
PLANT POINTS PROVIDED = 1,309
EXCESS POINTS PROVIDED = 260
POINTS PROVIDED BY TREES = 424 POINTS

VIA 27,147 SQ. FT. (WITHIN THE STREET YARD)
AREA REQUIRED = 27,147 X .05 = 1,387 SQ. FT.
AREA PROVIDED = 1,470 SQ. FT.
PLANT POINTS REQUIRED 1,387 POINTS
PLANT POINTS PROVIDED = 1,600 POINTS

VIA OUTSIDE THE STREET YARD = 0 SQ. FT.
AREA REQUIRED = 0 X .05 = 0 SQ. FT.
PROVIDED = 0 SQ. FT.
PLANT POINTS REQUIRED = 0
POINTS PROVIDED = 0

REMAINING YARD 424 SQ. FT.
PLANTING AREA REQUIRED 424 SQ. FT.
PLANTING AREA PROVIDED = 684 SQ. FT.
EXCESS PLANTING AREA PROVIDED = 260 SQ. FT.
PLANT POINTS REQUIRED = 44
PLANT POINTS PROVIDED = 184

PLANT LEGEND

NOTE: ALL LANDSCAPING SHALL BE (1) DROUGHT TOLERANT AND NATIVE OR (2) NON-INVASIVE PLANT SPECIES (I.E., NO PLANT SPECIES LISTED AS PROBLEMATIC AND/OR INVASIVE BY THE CALIFORNIA NATIVE PLANT SOCIETY, THE CALIFORNIA EXOTIC PEST PLANT COUNCIL, OR AS MAY BE IDENTIFIED FROM TIME TO TIME BY THE STATE OF CALIFORNIA, SHALL BE EMPLOYED OR ALLOWED TO NATURALIZE OR PERSIST ON THE SITE. NO PLANT SPECIES LISTED AS 'NOXIOUS WEED' BY THE STATE OF CALIFORNIA OR THE U.S. FEDERAL GOVERNMENT SHALL BE UTILIZED WITHIN THE PROPERTY.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USAGE
EXISTING PLANTS					
●	QUERCUS AGRIFFOLIA	COAST LIVE OAK	24" BOX	2	LOW
◆	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	2	LOW
◆	ASONIS FLEXUOSA	PEPPERMINT TREE	24" BOX	3	LOW
▲	LOPHOSTEMON CONFERTA	BRISBANE BOX	15 GAL. 24" BOX	1 5	LOW
○	CISTUS PURPUREA	ORCHID ROCKROSE	1 GALLON	48	LOW
○	CORDYLINE AUST. 'RED STAR'	RED GRASS TREE	15 GALLON	14	LOW
○	LAVATERA ASSURGENTIFLORA	ISLAND TREE MALLOW	15 GALLON	48	LOW
○	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	1 GALLON	25	LOW
○	MULLENBERGIA RIGENS	DEER GRASS	1 GALLON	31	LOW
⊕	SALVIA CLEV. - 'CELESTIAL BLUE'	CLEVELAND SAGE	5 GALLON	48	LOW
⊕	MYOP. PARVIFOLIUM 'PUTAH CREEK'	PROSTRATE MYOPORUM	IN ALL PLTS. AREAS, FLTS. @ 18" OC.		LOW
EXISTING PLANTING TO BE REMOVED FROM CONSTRUCTION AREAS, CONTAINERIZED AND MAINTAINED FOR REPLANTING AS SHOWN					
○	CISTUS PURPUREA	ORCHID ROCKROSE	1 GALLON	48	
⊕	SALVIA CLEV. - 'CELESTIAL BLUE'	CLEVELAND SAGE	5 GALLON	26	
●	QUERCUS AGRIFFOLIA	COAST LIVE OAK	24" BOX	5	
▲	LOPHOSTEMON CONFERTA	BRISBANE BOX	24" BOX	5	
⊕	LAVATERA ASSURGENTIFLORA	ISLAND TREE MALLOW	15 GALLON	18	

LIMITS OF PLANTING AREAS
AFFECTED BY NEW CONSTRUCTION

PLANTING NOTES

1. THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING PLANTER AREAS AND PLANT MATERIAL AS INDICATED ON THE PLANS OR AS SPECIFIED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
2. APPLY A CONTACT HERBICIDE, WHERE WEEDS ARE PRESENT, PER MANUFACTURER'S SPECIFICATIONS, A MINIMUM OF TEN DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING OR IRRIGATION WORK. WEEDS, INCLUDING THEIR ROOTS, SHALL BE ALLOWED TO COMPLETELY DIE BACK BEFORE PROCEEDING WITH WORK.
3. SUBMIT A SOIL SAMPLE AND A PLANT LIST TO THE "SOIL AND PLANT LABORATORY" IN SANTA ANA, CA, PRIOR TO ANY PLANTING. SUBMIT THE SOIL TEST TO THE LANDSCAPE ARCHITECT AND FOLLOW THE SOIL LABORATORY'S RECOMMENDATIONS PRIOR TO PLANTING.
4. ALL AREAS LESS THAN 3:1 IN SLOPE TO BE PLANTED SHALL BE CROSS-RIPPED TO A DEPTH OF SIX INCHES AND SHALL HAVE THE FOLLOWING AMENDMENTS SPREAD EVENLY AND THOROUGHLY BLENDED IN (QUANTITIES ARE PER 1,000 S.F.):
- A. 3 CUBIC YARDS NITROGEN FORTIFIED REDWOOD SHAVINGS
 - B. 100 POUNDS AGRICULTURAL GYPSUM
 - C. 15 POUNDS IRON SULFATE
 - D. 25 POUNDS 16-6-8 SLOW RELEASE FERTILIZER
- PLEASE NOTE THAT THE AMENDMENTS MAY CHANGE, BASED ON THE SOIL ANALYSIS.
5. EACH PLANT SHALL RECEIVE AGRIFORM PLANT TABLETS AS FOLLOWS:
- 1 GAL CONTAINER (1) 21 GRAM
 - 5 GAL CONTAINER (3) 21 GRAM
 - 15 GAL CONTAINER (5) 21 GRAM
- PER 3 INCHES OF BOXED TREE SIZE (1) 21 GRAM
- PER TWO FEET OF BROWN TRUNK HEIGHT (1) 21 GRAM
6. PLANT BACKFILL SHALL BE 50% SITE SOIL AND 50% NITROGEN FORTIFIED REDWOOD SHAVINGS BY VOLUME.
7. PLANTS SHALL BE INSTALLED PER PLANTING DETAILS PROVIDED IN THESE PLAN. PLANT MATERIAL SHALL NOT BE ROOT BOUND. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 6 MONTHS AND MAXIMUM OF TWO YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES AND PESTS.
8. STAKE ALL TREES PER DETAIL. REMOVE NURSERY STAKES AND TIES FROM ALL CONTAINER STOCK. MAINTAIN SIDE GROWTH ON ALL TREES.
9. PLANT ALL AREAS WITH GROUND COVER TO WITHIN 6" OF SHRUB OR TREE TRUNKS. INSTALL A 3" LAYER OF CLEAN SHREDDED BARK MULCH IN ALL AREAS NOT RECEIVING GROUND COVER, AND A 1/2" LAYER TO ALL AREAS RECEIVING GROUND COVER, UNLESS OTHERWISE INDICATED ON PLANS.
10. PLACE PLANTS NO CLOSER THAN 12" TO SPRINKLER HEADS.
11. ALL GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF SIXTY DAYS FOLLOWING COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER OR OWNER'S REPRESENTATIVE. ALL SHRUBS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF SIXTY DAYS FOLLOWING COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR, WITHIN 15 DAYS OF NOTIFICATION BY THE LANDSCAPE ARCHITECT OR OWNER, SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS WHICH FOR ANY REASON FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIAL GUARANTEE.
12. THE CONTRACTOR SHALL PROVIDE COPIES OF ALL SOIL AMENDMENT DELIVERY TICKETS TO THE OWNER AT OR BEFORE THE COMPLETION OF WORK.
13. PLACE YELLOW OR ORANGE TEMPORARY FENCE AROUND EXISTING TREES TO REMAIN AT DRIP LINE. STOCKPILING, TOPSOIL, MATERIAL STORAGE, VEHICLE USE, FOOT TRAFFIC, AND STORAGE IS PROHIBITED WITHIN THE DRIPLINE. PROTECT ROOTS FROM FLOODING, EROSION, LIME. CUT ROOTS APPROXIMATELY 6" FROM NEW CONSTRUCTION AND SEAL CUT WITH WOOD PAINT MADE BY FLINTKOTE, OR APPROVED EQUAL. MAINTAIN AND DOCUMENT A TREE WATERING SCHEDULE DURING CONSTRUCTION. REPLACE DAMAGED TREES WITH ONE OF EQUAL SIZE.
14. ALL BACKFILL MIXES AND MULCHES SHALL CONSIST OF CLEAN ORGANIC MATERIALS, NATURALLY COMPOSTED. SOIL AMENDMENTS SHALL BE FREE OF ANY TRACES OF ANIMALS, ANIMAL WASTES OR ANIMAL BY-PRODUCTS.

ADDITIONAL NOTES

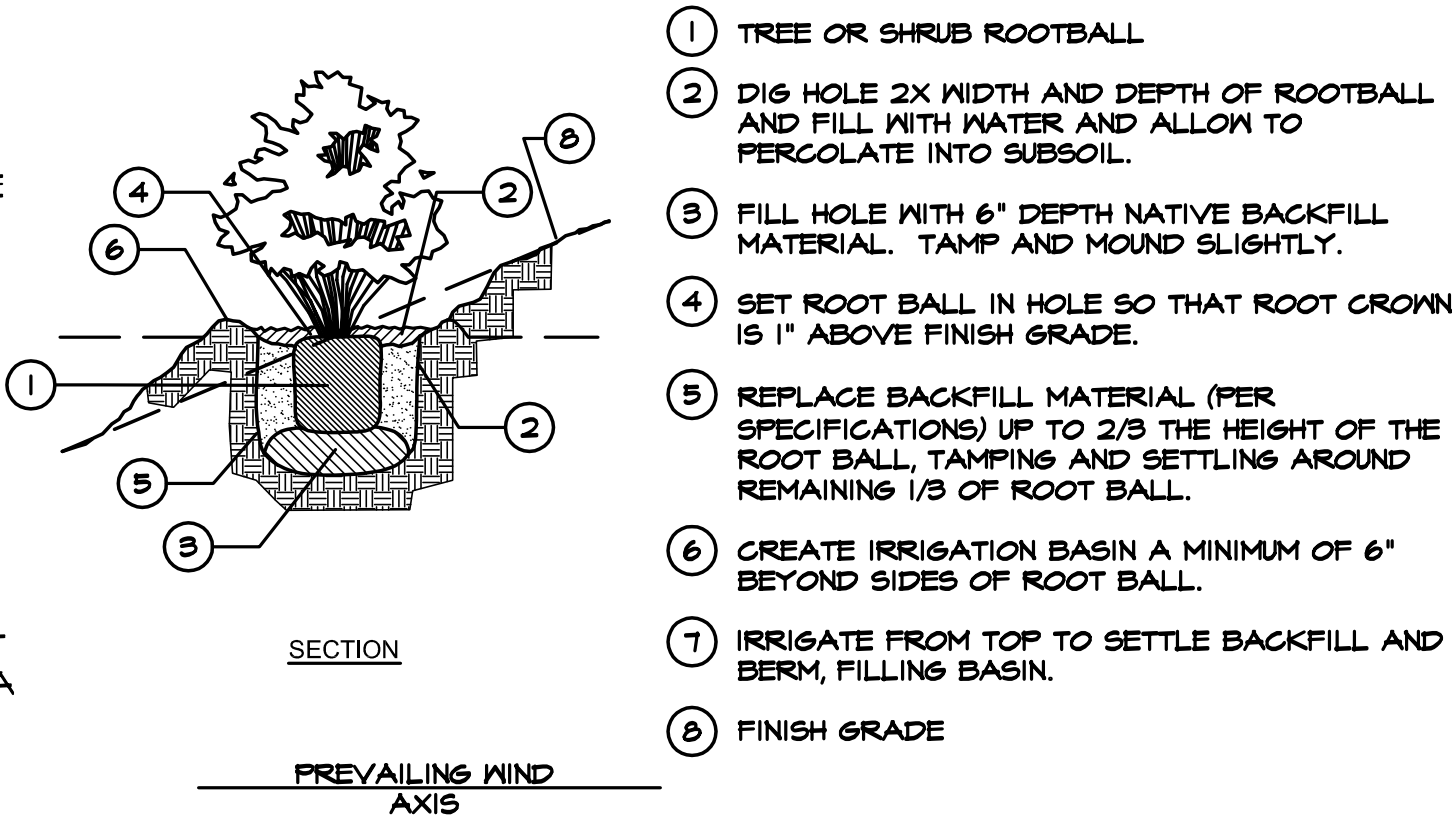
ALL LANDSCAPE AND IRRIGATION AREAS SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

1. ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET (WIDTH) MEASURED FROM THE INSIDE FACE OF PAVEMENT.
2. EACH TREE SHALL BE PLANTED IN AN AIR AND WATER-PERMEABLE PLANTING AREA OF AT LEAST 40 SQUARE FEET WITH A MINIMUM FINISHED DIMENSION (WIDTH) OF 5 FEET MEASURED FROM THE INSIDE FACE OF PAVEMENT. THE PLANTING SHALL BE UNENCUMBERED BY UTILITIES.
3. ALL VEHICLE USE AREAS (VUA) SHALL HAVE A MINIMUM OF ONE TREE WITHIN 30 FEET OF EACH DESIGNATED PARKING SPACE.
4. ALL PAVEMENT WITHIN 5 FEET OF A TREE SHALL BE LINED WITH A DEEP ROOT BARRIER ALONG THE EDGE OF THE HARDSCAPE.
5. SOIL SURFACE WILL BE A COMBINATION OF BARE TAMPED DECOMPOSED GRANITE, WHICH IS NOT TO BE MULCHED, AND A 3" MIN. DEEP LAYER OF SHREDDED TREE SERVICE OR WOOD MULCH FOR A NATURALISTIC AND ARTISTIC EFFECT. DISTRIBUTION SHALL BE DECIDED BY THE CONTRACTOR / DESIGNER (PLANTS COMPREHENSIVE) AT TIME OF INSTALLATION.
6. ANY CHANGES TO THE SITE AND/OR LANDSCAPE PLANS SHALL BE SUBMITTED TO THE CITY LANDSCAPE PLANNER FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING.
7. ANY DISCREPANCIES OR CONFLICTS IN DIMENSIONS, LANDSCAPE AREA OR MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE CITY LANDSCAPE PLANNER, THE OWNERS, AND THE DESIGNER/ARCHITECT PRIOR TO INSTALLATION.
8. TREES REQUIRED BY THIS DIVISION SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
9. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. THE IRRIGATION SYSTEM WILL UTILIZE BELOW SURFACE DRIP EMITTERS.
10. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
10. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.

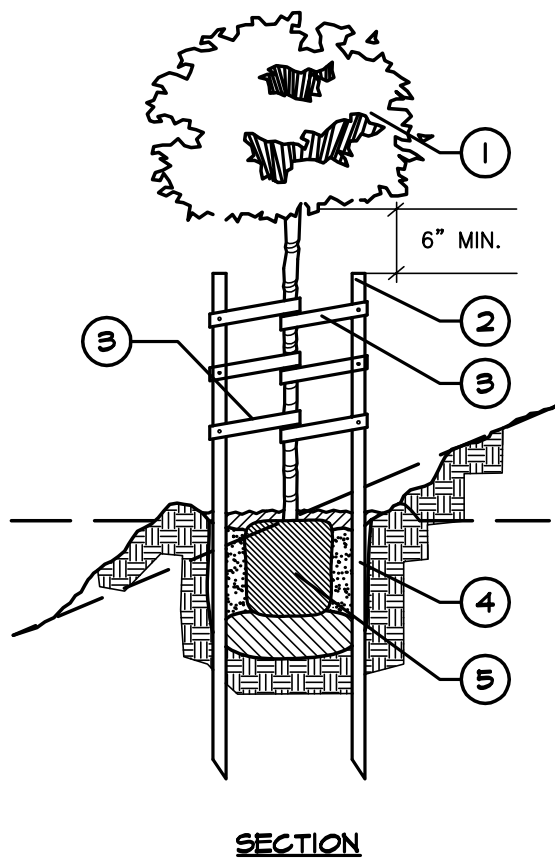
ADDITIONAL CITY NOTES:

1. PRIOR TO ISSUANCE OF PUBLIC RIGHT-OF-WAY PERMITS; THE OWNER/PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE CONSTRUCTION DOCUMENTS DEMONSTRATING THE RIGHT-OF-WAY IMPROVEMENTS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. IMPROVEMENT PLANS SHALL INDICATE AN AREA EQUAL TO 40 SQUARE FEET AROUND EACH TREE WHICH IS UNENCUMBERED BY UTILITIES, DRIVEWAYS, UTILITIES, DRAINS, WATER AND SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES.
2. PRIOR TO ISSUANCE OF BUILDING PERMITS; THE OWNER/PERMITTEE SHALL SUBMIT COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS CONSISTENT WITH THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS TO THE DEVELOPMENT SERVICES DEPARTMENT FOR APPROVAL. THE CONSTRUCTION DOCUMENTS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH EXHIBIT "A," LANDSCAPE DEVELOPMENT PLAN, ON FILE IN THE OFFICE OF THE DEVELOPMENT SERVICES DEPARTMENT.
3. PRIOR TO THE PERFORMANCE OF A FINAL INSPECTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER/PERMITTEE TO INSTALL ALL REQUIRED LANDSCAPE. A "NO FEE" STREET TREE PERMIT, IF APPLICABLE, SHALL BE OBTAINED FOR THE INSTALLATION, ESTABLISHMENT, AND ON-GOING MAINTENANCE OF ALL STREET TREES.
4. THE OWNER SHALL MAINTAIN ALL LANDSCAPE IN A DISEASE, WEED AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED. THE TREES SHALL BE MAINTAINED IN A SAFE MANNER TO ALLOW EACH TREE TO GROW TO ITS MATURE HEIGHT AND SPREAD. THE LANDSCAPE SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
5. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AND IRRIGATION IMPROVEMENTS IN THE RIGHT-OF-WAY CONSISTENT WITH THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS.
6. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, THE OWNER/PERMITTEE IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY LANDSCAPE IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR PRIOR TO THE PERFORMANCE OF A FINAL LANDSCAPE INSPECTION.

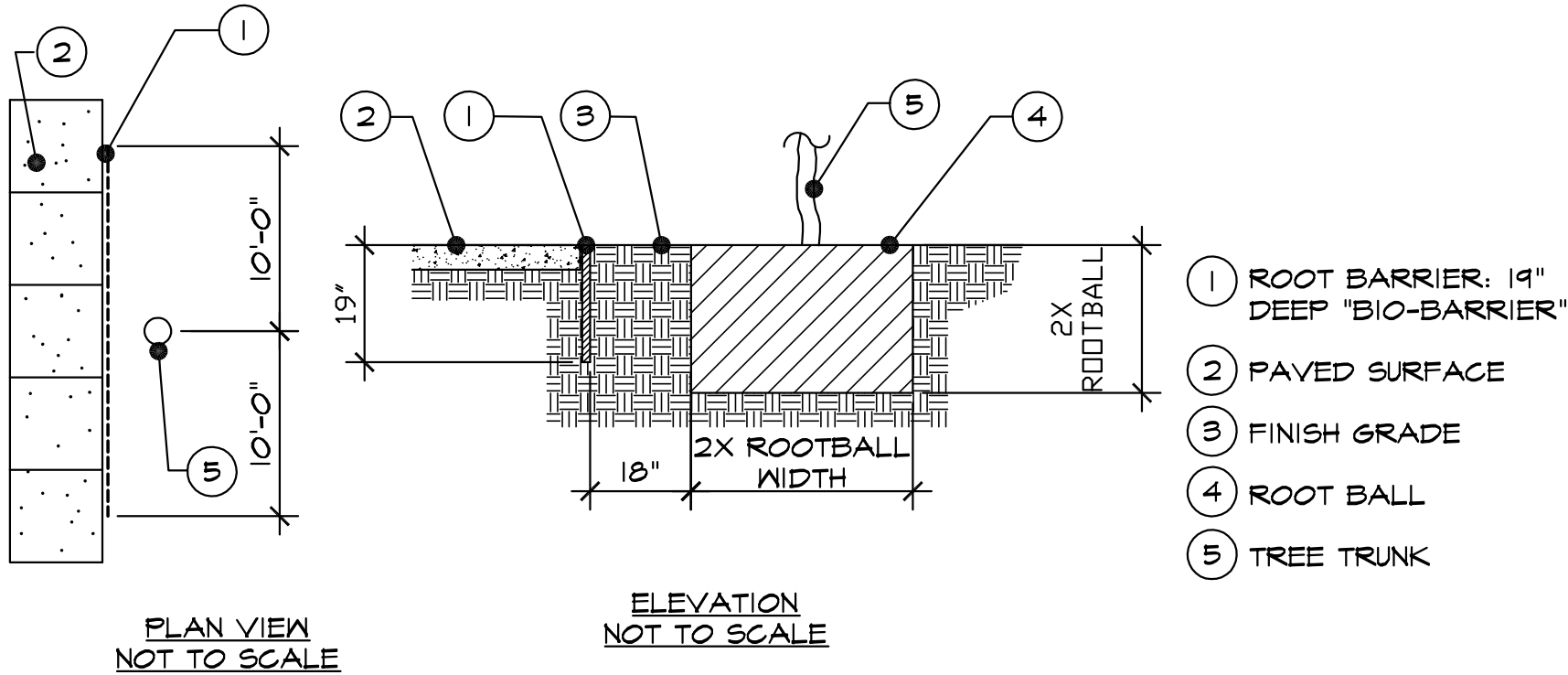
MINIMUM STREET TREE SEPARATION DISTANCE	
IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS AND STOP SIGNS	20'
UNDERGROUND UTILITY LINES	5'
ABOVEGROUND UTILITY LINES	10'
DRIVEWAY ENTRIES	10'
INTERSECTIONS	25'
SEWER LINES	10'



A SHRUB PLANTING
NOT TO SCALE



B TREE STAKING
NOT TO SCALE

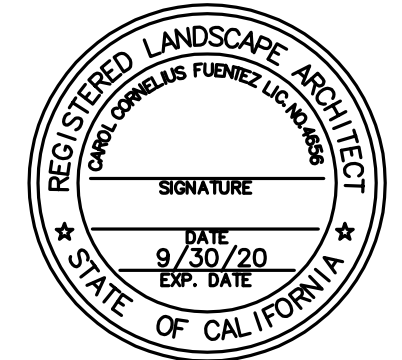


C ROOT BARRIER
NOT TO SCALE

- LANDSCAPE MAINTENANCE SCHEDULE: (MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER)
- KEEP SITE FREE OF TRASH AND DEBRIS - ONCE/WEEK
 - PRUNE DEAD BRANCHES/DEADHEAD FLOWERS - ONCE/WEEK
 - WEEDING, ERADICATING INVASIVE SPECIES - ONCE/WEEK
 - REMOVE DEAD, DYING OR DISEASED VEGETATION, AND REPLACE. REPLACEMENT OF DEAD VEGETATION SHALL BE IN KIND TO PRESERVE HYDROZONES - CONSTANT/ONGOING
 - INSPECT ALL AREAS TO GUARD AGAINST RUNOFF AND EROSION - CONSTANT/ONGOING
 - REFRESH MULCH - ONCE/YEAR
 - MAINTAIN RIGHT OF WAY AREA TO AVOID OBSTRUCTION OF MOTORIST'S VIEW.



CAROL CORNELIUS, L.L.A.
CA. #4656
12044 ROYAL ROAD #123
EL CAJON, CA. 92021
619-251-6372
CCORNELIUSRLA@GMAIL.COM

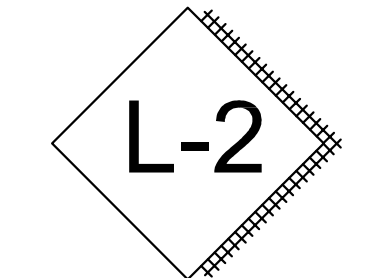


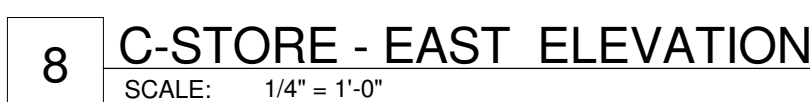
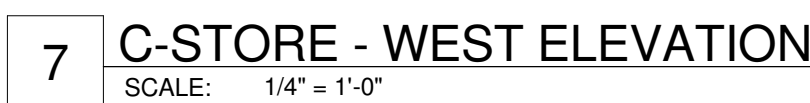
SHEET TITLE
Planting Details
and Notes

PROJECT NAME
Gas Station Addition
4001 54th Street
San Diego, California

DATE: 6-18-20
DRAWN BY: CCF
JOB NUMBER: 15016
FILE:

REVISIONS:

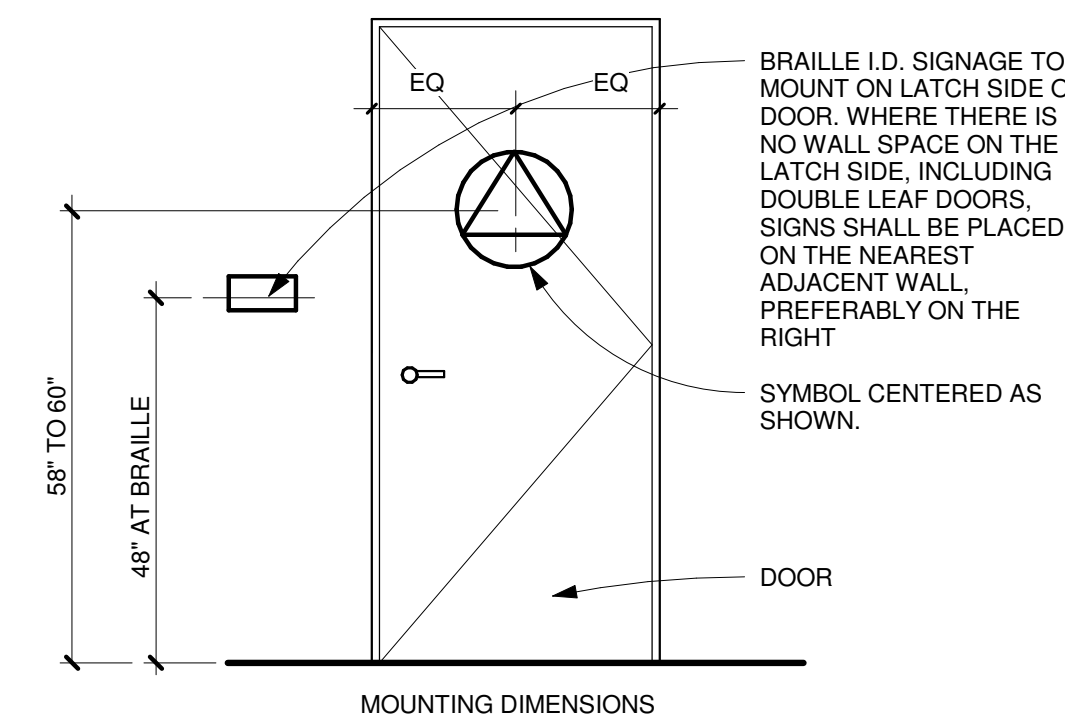




1 ACCESSIBLE LAVATORIES
SCALE: 12" = 1'-0"





1. ATTACH SIGN WITH ADHESIVE ONLY AND CAULK EDGES WITH CLEAR SILICON. SIGN SHALL BE CENTERED ON DOOR AND MOUNTED 58" - 60" ABOVE FLOOR TO THE CENTER OF THE SIGN.
2. ALSO PROVIDE SIGN TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR.
3. CHARACTER HEIGHT AND PROPORTION, RAISED AND BRAILED CHARACTERS, PICTORIAL SYMBOLS, SIGN FINISH, CONTRAST, AND MOUNTING HEIGHT AND LOCATION SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24.

1. DOOR SIGN - SHALL BE CENTERED ON DOOR AND MOUNTED (WITH ADHESIVE ONLY) & CAULK EDGES WITH CLEAR SILICON) 60" ABOVE THE FLOOR AT THE TOP OF THE DOOR.
2. ROOM SIGN - RAISED AND BRAILLED CHARACTERS AND PICTORIAL SYMBOL SIGNS (PICTOGRAMS). LETTERS AND NUMERALS SHALL BE RAISED 1/32" (UPPER CASE, SANS-SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED BY 1/8" HIGH BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2".
3. FINISH CONTRAST - THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE A CONTRASTING MATTE FINISH. THE BACKGROUND OF SIGNS SHALL BE A CONTRAST WITH DOOR OR WALL COLOR.
4. CHARACTERS AND SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR.



2 ACCESSIBLE RESTROOM SIGNAGE
SCALE: 1 1/2" = 1'-0"

FINISH SCHEDULE			
Mark	Manufacturer	Finish	Description
EP1	VISTA PAINT	COLOR AS SELECTED BY OWNER	CMU BUILDING FACADE
EP2	VISTA PAINT	COLOR AS SELECTED BY OWNER	TRIM AND PARAPET CAP
EP3	VISTA PAINT	COLOR AS SELECTED BY OWNER	BUILDING TRIM BAND
W1	KAWNEER ALUMINUM	CLEAR ANODIZED	ALUMINUM STOREFRONT

CLARK BRONKHORST ARCHITECTS INCORPORATED, SHALL BE HELD HARMLESS.	REVISONS	
		
		
		
		
	ISSUED TO PLAN CHECK	
	FIRST RECHECK	
	SECOND RECHECK	
	PERMIT ISSUE	

ARCHITECTURE PLANNING

9845 Erma Road, Suite 303
San Diego, California 92131

(858) 578-2950

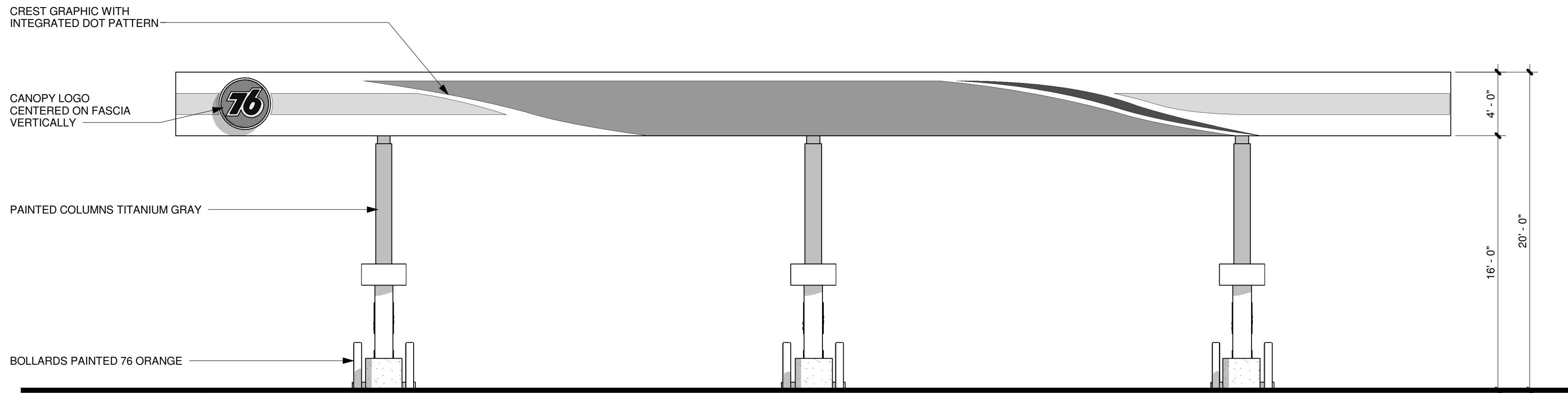
www.schussclarkbrandon.com
info@schussclarkbrandon.com



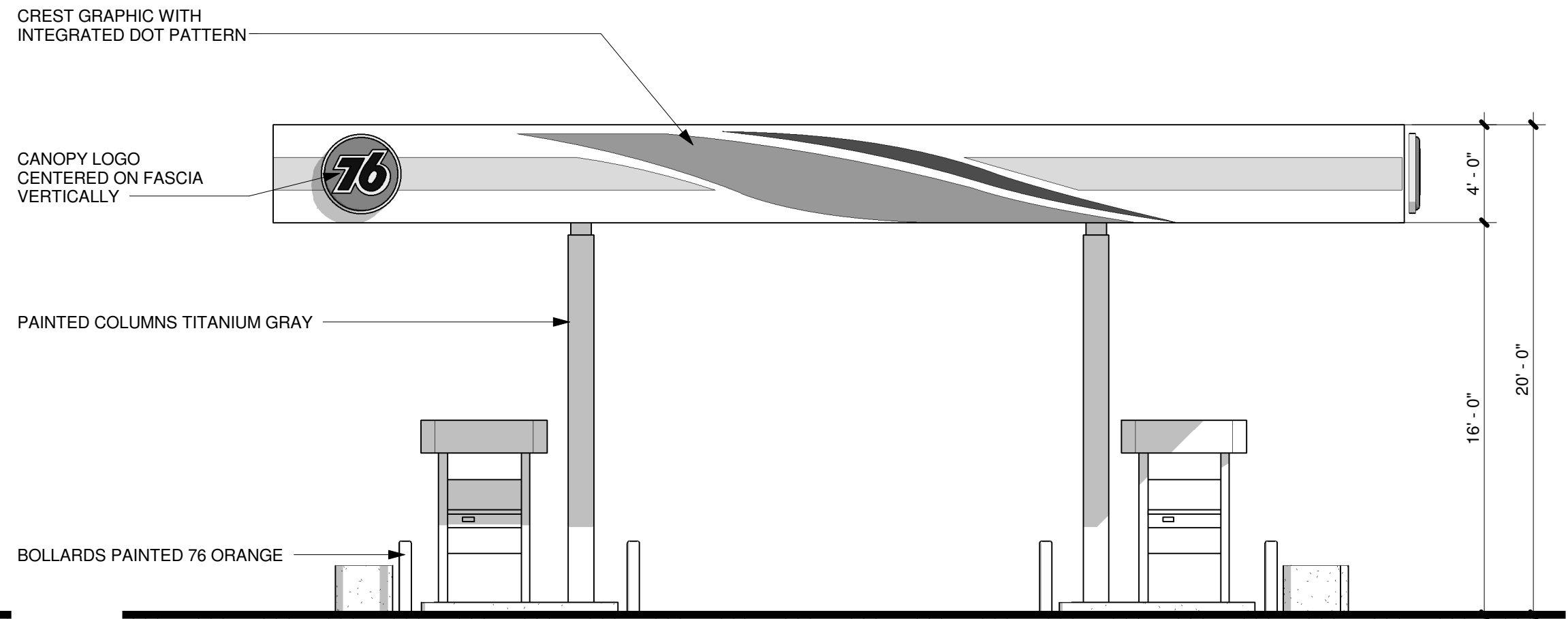
PE3 SAN DIEGO, LLC
GAS STATION

4001 54TH STREET SAN DIEGO, CA 92105

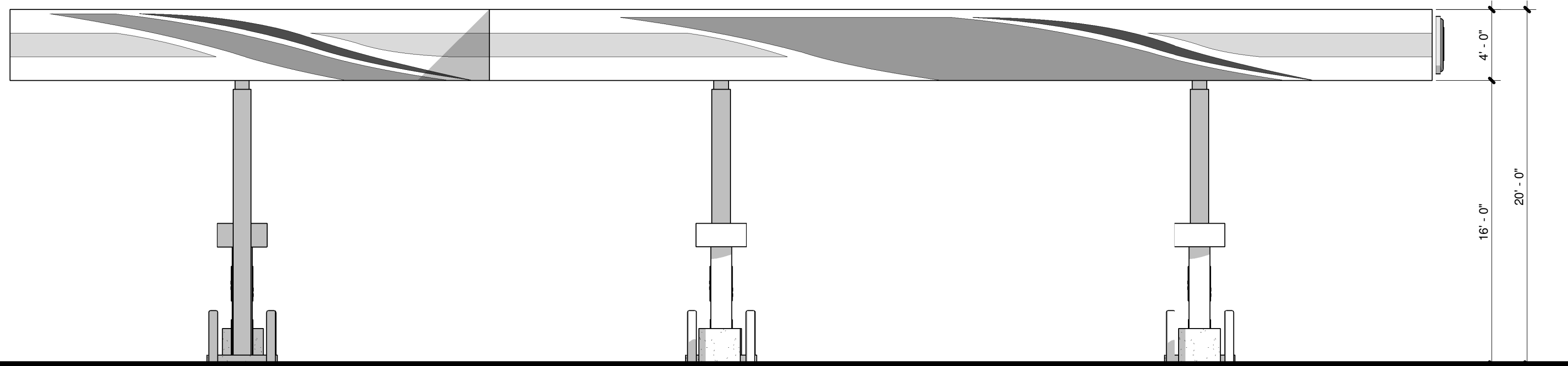
SHEET CONTENT	
C-STORE PLAN & ELEVATIONS	
PLAN CHECK	
DOCUMENT STATUS	
PLAN CHK	AFTER PERMIT
BIDDING	
DATE:	06/11/20
DRAWN BY:	EG
CHECKED BY:	JB
PROJECT:	18-452-28
SHEET NUMBER	
A1.0	



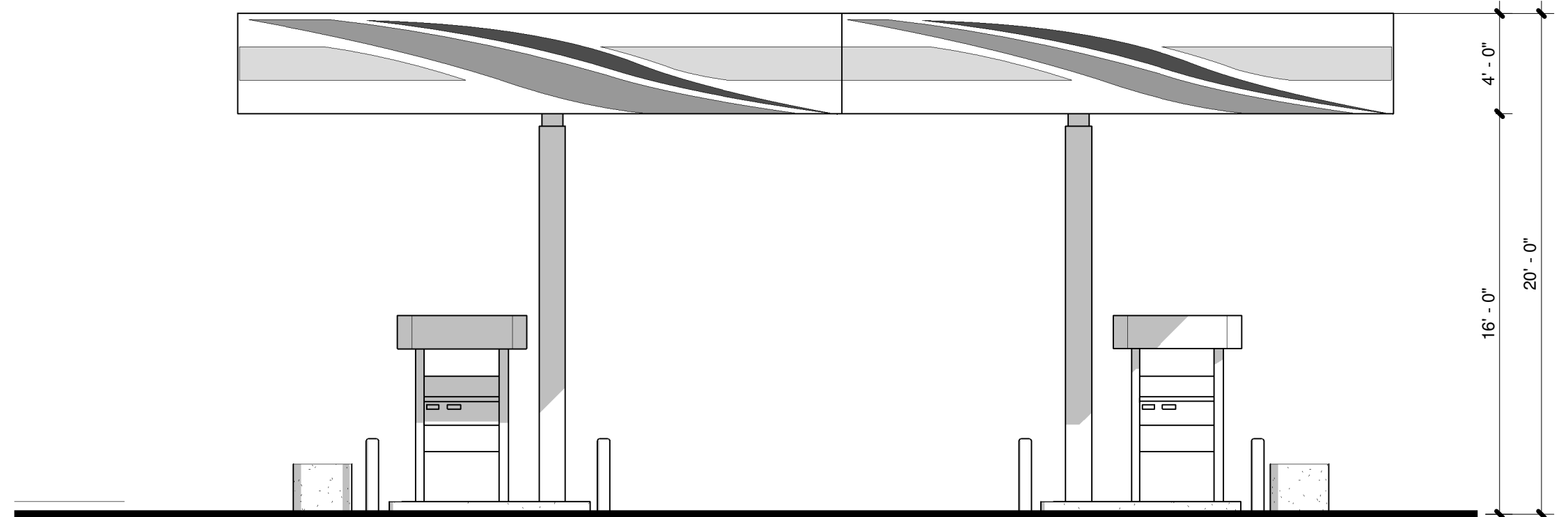
3 GAS STATION - SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



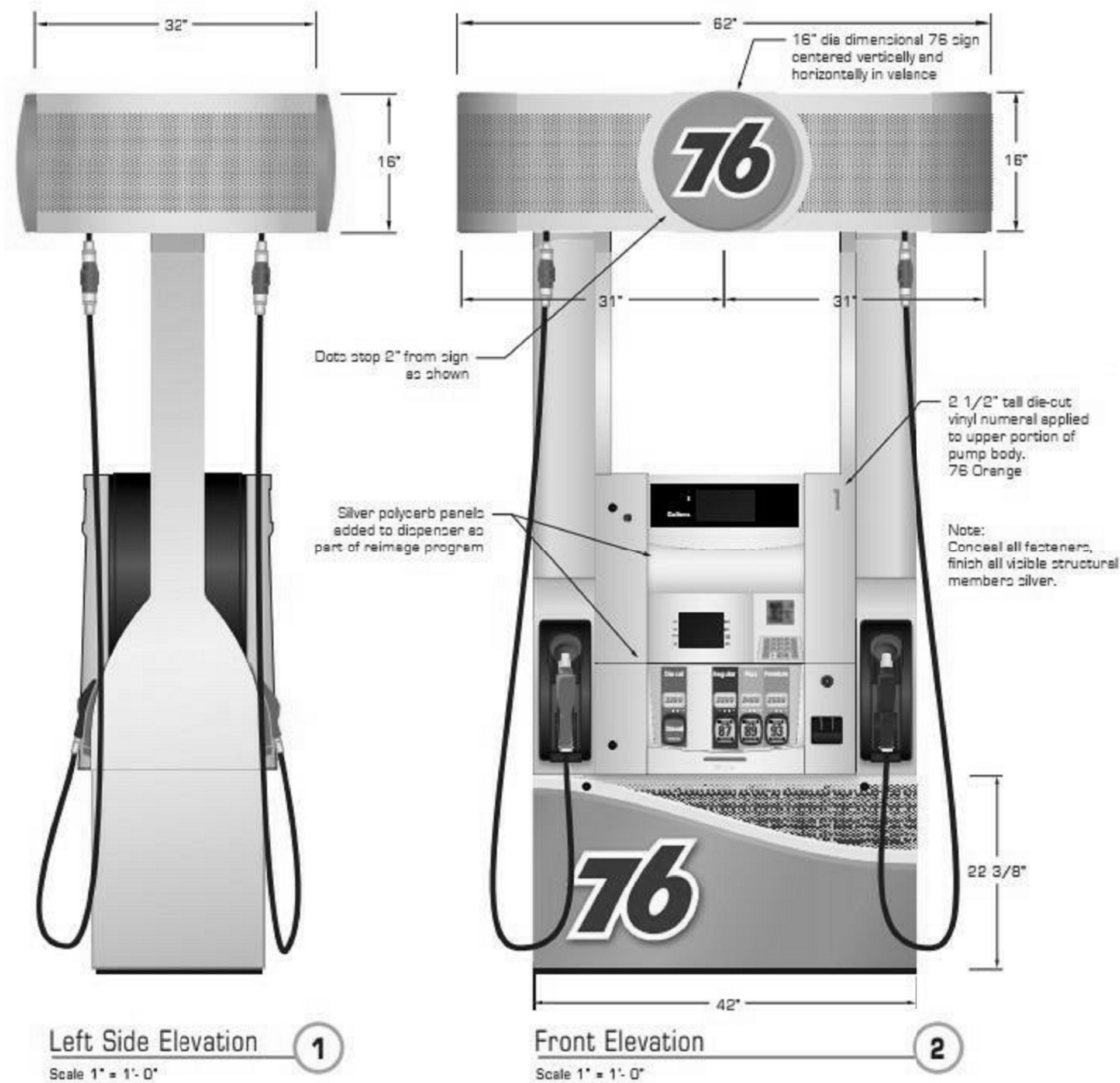
1 GAS STATION - WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 GAS STATION - EAST ELEVATION
SCALE: 3/16" = 1'-0"

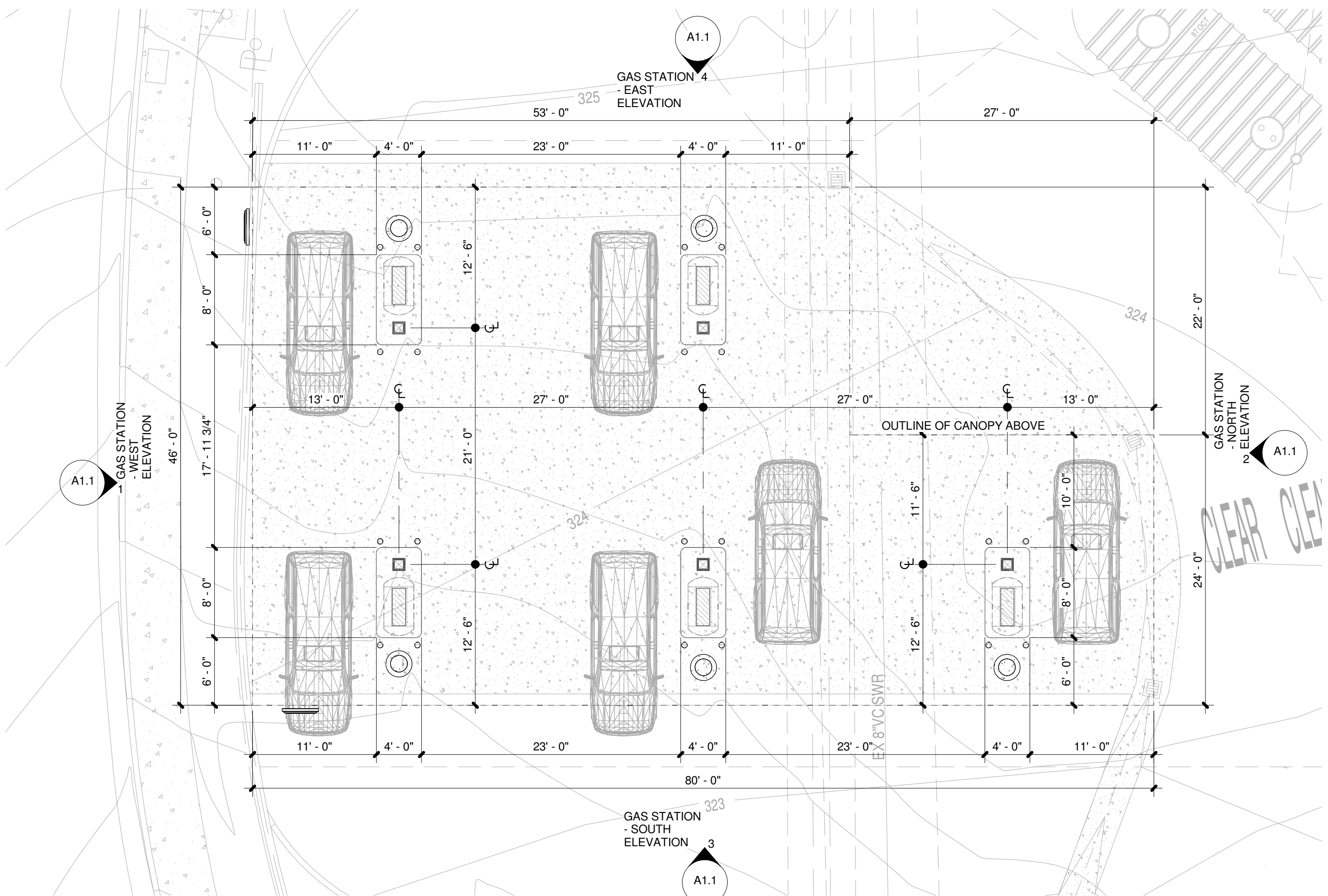


2 GAS STATION - NORTH ELEVATION
SCALE: 3/16" = 1'-0"



Left Side Elevation
Scale 1" = 1'-0"

Front Elevation
Scale 1" = 1'-0"



A FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	
ISSUED TO PLAN CHECK	
FIRST RECHECK	
SECOND RECHECK	
PERMIT ISSUE	

ARCHITECTURE PLANNING
9845 Erma Road, Suite 303
San Diego, California 92131
(658) 578-2950
www.schussclarkbrandon.com
info@schussclarkbrandon.com



PE3 SAN DIEGO, LLC
GAS STATION
4001 54TH STREET SAN DIEGO, CA 92105

SHEET CONTENT	
GAS STATION PLAN & ELEVATIONS	
PLAN CHECK	
DOCUMENT STATUS	
PLAN CHK	AFTER
BIDDING	PERMIT
DATE: 06/11/20	
DRAWN BY: EG	
CHECKED BY: JB	
PROJECT: 18-452-28	
SHEET NUMBER	

A1.1

Sprint Signs

9177 CHESAPEAKE DRIVE
SAN DIEGO, CA 92123
(858) 278-6152

PROJECT MANAGER
JOSH GRIMES

WO DATE DUE DATE
06-19-20

CLIENT
Marathon/76 Gas Station
4001 54th St

INSTALLATION ADDRESS
Marathon/76 Gas Station
4001 54th St

SHIP TO

PREPARED BY
HOUSE

VOLTAGE
N/A

CLIENT APPROVAL

SIGNATURE: _____
DATE: _____

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JOB NUMBER
200860



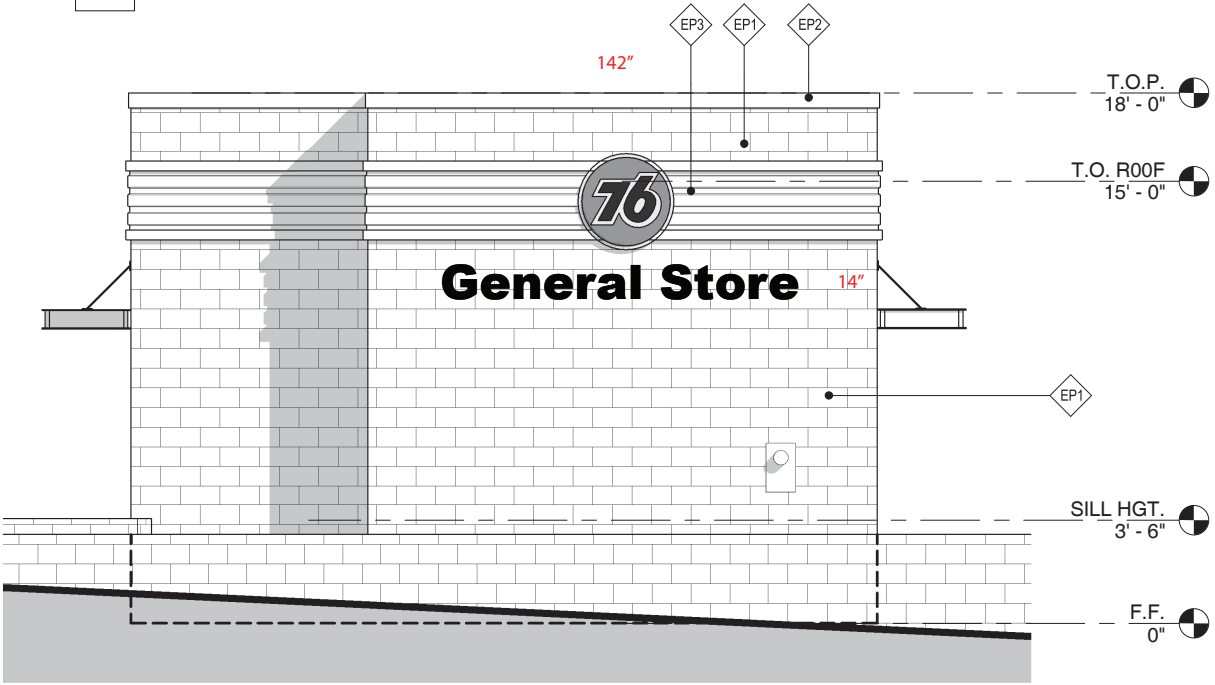
7 C-STORE - WEST ELEVATION



5 C-STORE - NORTH ELEVATION



8 C-STORE - EAST ELEVATION



6 C-STORE - SOUTH ELEVATION

A FABRICATION NOTES:
.5" white PVC dimensional lettering;
primed and painted TBD
[Pinmoutned to wall]



**9177 CHESAPEAKE DRIVE
SAN DIEGO, CA 92123
(858) 278-6152**

JOB NUMBER
200860

PROJECT MANAGER
JOSH GRIMES

WO DATE	DUE DATE
06-19-20	

CLIENT
Marathon/76 Gas Station
4001 54th St

INSTALLATION ADDRESS
Marathon/76 Gas Station
4001 54th St

SHIP TO

PREPARED BY
HOUSE

VOLTAGE
N/A

CLIENT APPROVAL

SIGNATURE: _____
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